

CITY OF GOODLETTSVILLE PLANNING COMMISSION

REVISED MEETING AGENDA

Monday December 5, 2022 5:00 PM

Call Meeting to Order and Member Roll Call

ITEM#1 Approval of December 5, 2022 Agenda

ITEM#2 Approval of November 7, 2022 Meeting Minutes

ITEM#3 Public Forum on Planning Related Topics

ITEM#4 Monticello Townhomes/ Klobner Engineering Services: Request final master plan approval for twenty-eight (28) townhouse units on 3.67 acres at 1537 Monticello Avenue. Property referenced as Davidson County Tax Map/Parcel#. 03405006300 and is zoned HDRPUD, High Density Residential Planned Unit Development. Property Owner: Jack Nixon (#7-22)

ITEM#5 Tasha Meyer, Property Owner: Requests a variance from the Subdivision Regulations Section 1-108.2 to permit a property subdivision to create an additional 25,771 square feet lot on Green Valley Drive from the 1.2-acre property/ lot at 402 Mason Lane. Property referenced as Sumner County Tax Map/Parcel# 143I A 006.00 000 and is zoned R25, Low Density Residential.

ITEM#6 Community Development Staff: Requests approval of the 2023 Planning Commission Meeting and Plan Submittal Calendar

ITEM#7 Community Development Staff: Request recommendation to the City Commission to amend the Zoning Ordinance Section 14-208 (1)(c) to define the maximum number of accessory buildings permitted and minimum material requirements

GOODLETTSVILLE CITY HALL MASSIE CHAMBERS

A government committed to operating with efficiency and integrity in all we do as we strive to enhance the quality of life for the community we serve.

105 S. Main Street – Goodlettsville, TN 37072 – 615-851-2202

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CITY OF GOODLETTSVILLE PLANNING COMMISSION

STAFF REPORT

Monday December 5, 2022 5:00 PM

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STAFF NOTES: N/A

STAFF RECOMMENDATION: Approval

ITEM#2 Approval of November 7, 2022 Meeting Minutes

STAFF NOTES: N/A

STAFF RECOMMENDATION: Approval

ITEM#3 Public Forum on Planning Related Topics

STAFF NOTES: N/A

STAFF RECOMMENDATION: N/A

ITEM#4 Monticello Townhomes/ Klober Engineering Services: Request final master plan approval for twenty-eight (28) townhouse units on 3.67 acres at 1537 Monticello Avenue. Property referenced as Davidson County Tax Map/Parcel#. 03405006300 and is zoned HDRPUD, High Density Residential Planned Unit Development. Property Owner: Jack Nixon (#7-22)

STAFF NOTES:

The project preliminary master plan was approved at the June 6, 2022 meeting including twenty-eight (28) townhouse units. The final master plan is consistent with the preliminary master plan. The remaining plan review comments are listed with the staff recommendation.

STAFF RECOMMENDATION:

Approval with the following stipulations being completed prior to permitting

1. Approval of revised plans and drainage calculations by City's Engineer Consultant prior to any City Land Disturbance permit issuance
2. Revise notation to twenty-eight (28) units on Note Sheet.
3. Increase curb radius at fire truck turn around on plans and provide fire lane signage both per the City's Fire Code requirements.
4. Provide revised landscape plan with planting schedule to ensure compliance with total caliper inches per acre and provide additional trees around parking lot areas.
5. Provide notation for a variety of building material colors with building construction

6. Provide notation regarding the property owner coordinating cross walk signal material purchase and installation per City of Goodlettsville Public Works Department

ITEM#5 Tasha Meyer, Property Owner: Requests a variance from the Subdivision Regulations Section 1-108.2 to permit a property subdivision to create an additional 25,771 square feet lot on Green Valley Drive from the 1.2-acre property/ lot at 402 Mason Lane. Property referenced as Sumner County Tax Map/Parcel# 143I A 006.00 000 and is zoned R25, Low Density Residential.

STAFF NOTES:

The proposal is to subdivide the property into two (2) lots meeting the minimum width and area dimensions per the R-25 zoning district and Zoning Ordinance section listed below. The City's Subdivision Regulations include a more stringent requirement for further re-subdivision in a developed subdivision for the lot sizes to be consistent with the average lot size in the subdivision. The subdivision plat includes thirty-nine (39) lots with the average lot size of 43, 962 square feet. Three (3) lots at the end of Mason Lane were purchased by the City of Goodlettsville and are now a city park area. The park area was in an area that historically flooded. Excluding the three (3) park lots from the subdivision lot calculations, the average lot size would be 42, 228 square feet. The proposal is to subdivide lot twenty (26) that includes 52,000 square feet into two (2) lots for single family dwellings. The proposed lots are 25, 771 square feet and 26, 229 square feet. The proposed lot sizes are below the average lot size in the subdivision and the proposal would include a limited reduction in average lot size in the subdivision by 2.4% and 2.7% if excluding the City park area from the average lot size calculation.

The property is included on the City's Comprehensive Land Use plan as Residential Low Density Conservation area with the defined intention to maintain the prevailing lot sizes in the area. This is a unique request since the City's property designated zoning classification and Zoning Ordinance adopted by the City Commission would permit the request meeting the R-25 lot size requirements, but the City's Subdivision Regulations adopted by the Planning Commission include a more stringent section regarding existing subdivision resubdivision based on the review of the average lot sizes. The City's Comprehensive Land Use plan is a long-range planning document adopted by the Planning Commission. In this case the Subdivision Regulation requirements are more stringent than the Zoning Ordinance requirements. The Zoning Ordinance and Subdivision Regulations both define that when conflicts exist between standards the most stringent regulations would apply.

STAFF RECOMMENDATION: Denial of request since the proposed subdivision reduces the average lot size in the existing subdivision and the proposed lot sizes of 25,771 and 26,229 square feet in relation to average lot size in the subdivision (excluding city park area) of 42, 228 square feet. The staff recommendation is based on intention of the Subdivision Regulations requirement and the Comprehensive Land Use Plan for the area.

Subdivision Plat: Barnett Rolling Acres Section One- Recorded July 19, 1966

Subdivision Regulations Section 1-108

1-108 Resubdivision of Land

1-108.1 Procedures for Resubdivision -- If any change in an approved or recorded subdivision plat would affect the layout of any public street, alley or road (hereinafter referred to as “public way”) shown on such plat, or area reserved thereon for public use, or any lot line or if it would affect any map, or any lot line, or if it would affect any map, plan or plat legally recorded before the adoption of any subdivision regulations, such amendment shall be approved by the Planning Commission or by the Planning Commission Secretary/Planning Director for two (2) lot subdivisions per the provisions of T.C.A. 13-4-302 and 13-3-402 by the same procedure, rules and regulations as for a subdivision.

1-108.2 Limitation on Resubdivision -- Within any existing subdivision which has been approved, recorded and at least partially developed, no resubdivision or replatting shall be permitted which reduces the average lot size in such recorded subdivision

Subdivision Regulations Section 1-111

1-111 Variances

1-111.1 General -- If the Planning Commission finds that extraordinary hardships or practical difficulties may result from strict compliance with these regulations, a variance from these regulations may be granted; provided, such variance shall not have the effect of nullifying the general intent and purpose of these regulations and provided, further, that the Planning Commission shall not recommend variations unless it shall make findings based upon written evidence presented to it in each specific case that:

(1) The granting of the variance will not be detrimental to the public safety, health or welfare, or be injurious to other property or improvements in the neighborhood in which the property is located;

(2) The conditions upon which the request for a variance is based are unique to the property for which the variance is sought and are not applicable generally to other property;

(3) Because of the particular physical surroundings, shape or topographical condition of the specific property involved, a particular hardship (not self-imposed) to the owner would result, as distinguished from a mere inconvenience. If the strict letter of these regulations were carried out; and

(4) The variance will not in any manner alter the provisions of the land development plan, the major street or road plan or any zoning ordinance. Where the Planning Commission concludes that the purpose of these regulations

may be specifically served to an equal or greater extent by an alternative proposal, condition or circumstance, it may approve other variations to these regulations.

Subdivision Regulations Section 1-105

1-105.2 Conflict with Public and Private Provisions 6 1-105.201 Public Provisions -- These regulations are not intended to interfere with, abrogate or annul and other ordinance, rule or regulation, statute, or other provision of law. Where any provision of these regulations imposes restrictions different from those imposed by any other ordinance, rule, regulation or other provision of law, whichever provisions are more restrictive or impose higher standards shall control.

Zoning Ordinance Section 14-208 (1)(f)(iv)

(iv) Subdivision of zone lot after development. In all districts, after any portion of a zone lot has been developed under the provisions of this section, such zone lot may be subdivided into smaller zone lots only if each resulting zone lot and building or buildings thereon comply with all of the appropriate regulations pertaining to bulk, yards, open space, and parking and loading requirements of the district in which they are located

Zoning Ordinance Section 14-205 (4)

(4) Bulk, yard, and density regulations. The regulations appearing below apply to zone lots and buildings or other structures located on any zone lot or portion of a zone lot including all new developments, enlargements, extensions, or conversions; provided, however, that all barns, sheds, silos, or other buildings used exclusively for agricultural purposes shall be exempt from these regulations when located in the agricultural districts. Existing buildings or other structures which do not comply with one or more of the applicable bulk regulations are classified as noncomplying and are subject to the provisions of § 14-212.

Zoning Ordinance Section 14-214 (2)

14-214. Legal status provisions.

(1) Interpretation. In their interpretation and application, the provisions of this section shall be held to the minimum requirements for the promotion of the public health, safety, morals, and welfare.

(2) Relationships to other laws and private restrictions.

(a) Where the conditions imposed by any provisions of this ordinance upon the use of land or buildings or other structures or upon the height or bulk of buildings or other structures are either more restrictive or less restrictive than comparable conditions imposed by any other provision of this ordinance or any other law, or ordinance, of any kind, the provisions which are most restrictive shall apply.

(b) This ordinance is not intended to abrogate any easement, covenant, or any other private agreement provided that where the regulations of this section are more restrictive (or impose

higher standards or requirements) than such easements, covenants, or other restrictive agreements, the requirements of this title to the extent that they are more restrictive shall govern.

(c) Provisions do not constitute permit. Nothing contained in this ordinance shall be deemed to be a consent, license or permit: to use any property; or locate, construct, or maintain any building, structure, or facility; or to carry on any trade, industry, occupation or activity.

(a) Minimum lot size. Within all residential districts, the minimum size lot and width of lot (measured at the building line) used for residential purposes shall be as established in Table II as presented in Appendix A.

(b) Maximum lot coverage. Within all residential districts, the maximum lot coverage by all buildings shall not exceed the percentage of lot area as established in Table II as presented in Appendix A.

(c) Maximum floor area ratio. Within all residential districts, the maximum permitted floor area ratio shall be as established in Table II as presented in Appendix A.

(d) Maximum permitted height. No building shall exceed the height requirements as established in Table II as presented in Appendix A.

(e) Density regulations. The maximum residential density permitted on any zone lot shall be controlled by the development area per dwelling or rooming unit as established in Table II as presented in Appendix A.

(f) Yard regulations. Within all residential districts, the minimum yard regulations established in Table II as presented in Appendix A shall apply.

Zoning Ordinance Section Appendix A Table 1

14-201

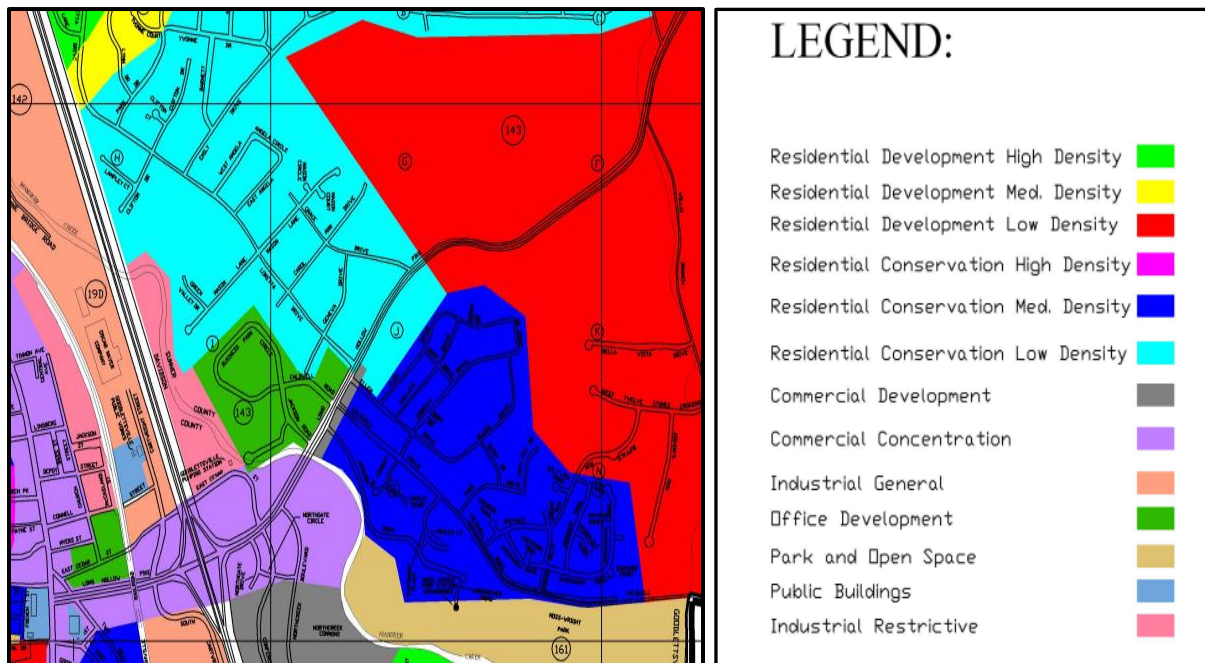
**TABLE II
BULK, YARD AND DENSITY REGULATIONS
RESIDENTIAL DISTRICTS**

	<u>A</u>	<u>R40</u>	<u>R25</u>	<u>R15</u>	<u>R10</u>	<u>R7</u>
Minimum lot requirements						
Residential buildings (in square feet)	217,800	40,000	25,000	15,000	10,000	7,000
Other uses	217,000	120,000	120,000	120,000	40,000	25,000
Minimum lot width*	150	125	100	75	60	50
Maximum lot coverage						
Principal & accessory bldgs.	10%	20%	20%	25%	40%	40%
Maximum floor area ratio	0.12	0.25	0.25	0.33	0.40	0.50
Maximum height (in feet)	35	35	35	35	35	35
Minimum development area per dwelling unit** (in square feet)	217,800	40,000	25,000	15,000	10,000	7,000
Minimum yard requirements						
Front - Arterial streets	75	50	50	50	40	40
Collector streets	75	50	40	40	30	30
Minor streets	75	50	40	30	30	30
Side	40	20	15	10	10	9
Rear	40	40	30	20	20	20

*Lot width shall be measured at the minimum front setback line as specified above.

**May also be used as "density" for calculating dwelling units per acre. Planned unit development requirements are contained in § 14-210.

Land Use Plan (Map)



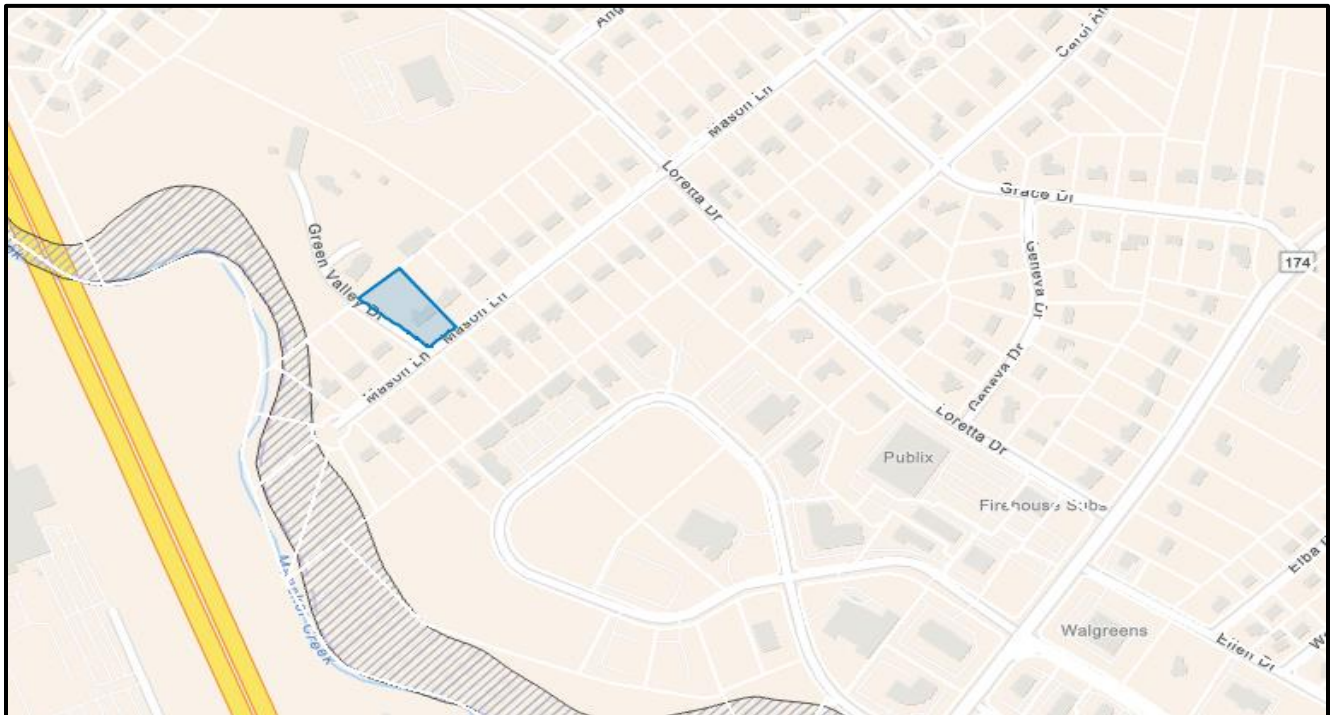
Land Use Plan (Text)

*Residential areas are further classified as either "**residential conservation**" or "**residential development**." Conservation areas are those neighborhoods which are predominantly developed and should be protected. Development areas are those where new development or redevelopment can be permitted at varying densities.*

1. ***Residential conservation areas should be protected from encroachment by incompatible activities. Prevailing lot sizes and densities are to be maintained, and any infill development should occur in a similar pattern.***
2. *Residential development areas should be permitted to develop at a density appropriate for the area. Where sewer is available, low medium density subdivisions may occur. Medium and high density development should be restricted to planned unit developments and should provide transition from low to higher densities.*
3. *Residential densities in development areas without sewer availability should be one dwelling unit per acre or less, depending upon soil types. As public*

sanitary sewer is provided, higher densities may be considered.

4. *High density development shall be a planned unit development. These developments should be located with direct access to a major street with no traffic routed through existing neighborhoods.*
5. *Planned unit development should be encouraged. Density and design control should be exercised through the PUD review process and through staff implementation.*
6. *Overzoning, i.e., zoning districts which have lot size requirements smaller than the prevailing developed lot size, should be discouraged and corrected as opportunities exist.*



EXISTING		
Lot#	Address	Lot Sq. Ft.
Lot 1	509 Mason Lane	52,272
Lot 2	507 Mason Lane	42,139
Lot 3	505 Mason Lane	42,139
Lot 4	503 Mason Lane	42,139
Lot 5	501 Mason Lane	42,987
Lot 6	304 Loretta Drive	45,600
Lot 7	415 Mason Lane	40,032
Lot 8	413 Mason Lane	40,032
Lot 9	411 Mason Lane	40,032
Lot 10	409 Mason Lane	40,032
Lot 11	407 Mason Lane	40,032
Lot 12	405 Mason Lane	40,030
Lot 13	403 Mason Lane	40,030
Lot 14	401 Mason Lane	40,032
Lot 15	311 Mason Lane	56,240
Lot 16	309 Mason Lane	40,032
Lot 17	307 Mason Lane	40,032
Lot 18	305 Mason Lane	46,107
Lot 19	City Park	78,400
Lot 20	City Park	65,340
Lot 21	City Park	50,577
Lot 22	304 Mason Lane	45,835
Lot 23	306 A/B Mason Lane	39,851
Lot 24	308 Mason Lane	40,075
Lot 25	310 Mason Lane	38,850
Lot 26	402 Mason Lane	52,000
Lot 27	404 Mason Lane	40,032
Lot 28	406 Mason Lane	40,032
Lot 29	408 A/B Mason Lane	40,032
Lot 30	410 Mason Lane	40,032
Lot 31	412 Mason Lane	40,032
Lot 32	414 Mason Lane	40,032
Lot 33	416 Mason Lane	40,032
Lot 34	418 Mason Lane	41,120
Lot 35	502 Mason Lane	41,800

Lot 36	504 Mason Lane	42,139
Lot 37	506 Mason Lane	42,139
Lot 38	508 Mason Lane	41,139
Lot 39	510 Mason Lane	45,080
Average Lot Size		43,962
Average Lot Size (Excluding Park Lots)		42,228
PROPOSED		
Lot#	Address	Lot Sq. Ft.
Lot 1	509 Mason Lane	52,272
Lot 2	507 Mason Lane	42,139
Lot 3	505 Mason Lane	42,139
Lot 4	503 Mason Lane	42,139
Lot 5	501 Mason Lane	42,987
Lot 6	304 Loretta Drive	45,600
Lot 7	415 Mason Lane	40,032
Lot 8	413 Mason Lane	40,032
Lot 9	411 Mason Lane	40,032
Lot 10	409 Mason Lane	40,032
Lot 11	407 Mason Lane	40,032
Lot 12	405 Mason Lane	40,030
Lot 13	403 Mason Lane	40,030
Lot 14	401 Mason Lane	40,032
Lot 15	311 Mason Lane	56,240
Lot 16	309 Mason Lane	40,032
Lot 17	307 Mason Lane	40,032
Lot 18	305 Mason Lane	46,107
Lot 19	City Park	78,400
Lot 20	City Park	65,340
Lot 21	City Park	50,577
Lot 22	304 Mason Lane	45,835
Lot 23	306 A/B Mason Lane	39,851
Lot 24	308 Mason Lane	40,075
Lot 25	310 Mason Lane	38,850
Lot 26A	402 Mason Lane	26,229
Lot 26	Green Valley	25,771
Lot 27	404 Mason Lane	40,032
Lot 28	406 Mason Lane	40,032

Lot 29	408 A/B Mason Lane	40,032
Lot 30	410 Mason Lane	40,032
Lot 31	412 Mason Lane	40,032
Lot 32	414 Mason Lane	40,032
Lot 33	416 Mason Lane	40,032
Lot 34	418 Mason Lane	41,120
Lot 35	502 Mason Lane	41,800
Lot 36	504 Mason Lane	42,139
Lot 37	506 Mason Lane	42,139
Lot 38	508 Mason Lane	41,139
Lot 39	510 Mason Lane	45,080
Average Lot Size (Square Footage)		42, 863 (2.4% Reduction)
Average Lot Size (Excluding Park Lots)		41,086 (2.7% Reduction)

Tennessee Code Annotated Section 13-7-209 (Zoning Ordinance Enforcement/ Conflict)

13-7-209. Conflict with other laws.

Whenever the regulations made under authority of this part and part 3 of this chapter require a greater width or size of yards, courts or other open spaces, or require a lower height of buildings or less number of stories, or require a greater percentage of lot to be left unoccupied, or imposed other higher standards than are required in any other statute, the regulations made under authority of this part and part 3 of this chapter shall govern. Wherever any other statute require a greater width or size of yards, courts or other open spaces or require a greater percentage of lot to be left unoccupied, or impose other higher standards than are required by the regulations made under authority of this part and part 3 of this chapter, such statute shall govern.

ITEM#6 Community Development Staff: Requests approval of the 2023 Planning Commission Meeting and Plan Submittal Calendar

STAFF NOTES: The September 2023 and January 2024 meeting dates have been moved back a week due to the observation of holidays. The 2023 plan submittal and plan review comment timing are the same as the 2022 schedule. The timing was to provide additional time for the City's consultant engineers to review initial and revised plan submittals.

STAFF RECOMMENDATION: Approval

ITEM#7 Community Development Staff: Request recommendation to the City Commission to amend the Zoning Ordinance Section 14-208 (1)(c) to define the maximum number of accessory buildings permitted and minimum material requirements

STAFF NOTES:

The City adopted in 2015 a threshold of 375 square feet for when accessory buildings are not required to match the primary building materials of the residential property house exterior materials. The City's Zoning Ordinance permits accessory building(s) total square footage at seventy (70%) percent of the house on the property and total lot coverage of all buildings per the property residential zoning district requirements. Staff has recently experienced issues with a building permit issued for an accessory building less than 375 square feet then an additional permit requirement for an additional accessory building also less than 375 square feet but together totaling more than 375 square feet. The proposed amendment is to address a limit on the number and size of multiple accessory buildings on a property permitted without being required to meet house material consistency requirement.

STAFF RECOMMENDATION: Approval

Zoning Ordinance Section 14-208 (1)(c)

Proposed Amendment- *Bold/Italics*

(c) In all residential districts, except for residential planned unit development districts, no lots shall have erected thereon more than one (1) principal building. Principal buildings and additions as well as additions in residential districts consisting of wall, roof, floor, and foundation connections shall meet the requirements of the applicable zoning district. Permitted limited connection additions in residential districts and accessory buildings in all districts shall meet the following requirements in items (d) and (e) and the requirements of the applicable zoning district.

To ensure order in site developments including building and lot bulk standards and the compatibility of buildings constructed on-site, all buildings and structures ~~and additions and accessory buildings regardless of square footage,~~ and accessory buildings or structures in residential districts which exceed three hundred seventy-five (375) square feet shall be constructed of roof and exterior wall materials consistent with the primary roof and exterior wall materials of the principal building or structure.

The maximum number of accessory buildings or structures permitted under the 375 square footage requirements not meeting the primary building material consistency requirements of this section is two (2) building or structures per property when the buildings or structures combined square footage exceeds 375 square feet. The accessory buildings or structures permitted or installed per city requirements prior to the adoption of the material consistency requirement per Ordinance 15-844 (September 10, 2015) would not be used in calculating the maximum number of accessory buildings or structures less than 375 square feet permitted per property.

On primary roof and exterior wall materials of the principal large acreage Agricultural and R-40 zoned properties consisting of five (5) or more acres, accessory building(s) or structure are not required to be constructed of consistent materials of the primary building if the accessory building(s) or structure is constructed entirely behind and separate from the primary building and is constructed per the building setbacks of the zoning district. The primary exterior wall and roof materials of the principal building shall be extended on all sides of the exterior walls and roof of additions or accessory buildings or structures. In the case of principal buildings or structures with multiple exterior wall materials, the addition and accessory building or structure may be constructed of materials at the same ratio of the principal building or structure. Alternative designs for large acreage properties as referenced above and alternative designs that exceed the purpose and intention of the items referenced above with single family and duplex residential building and structures may be approved by planning and development services staff. Staff's decision on alternative designs may be appealed to the Planning Commission for review. All other building and structures shall meet site and architectural design standards and the Goodlettsville Design Guidelines.

DISCUSSION ITEMS

-Staff Recommendation and Staff Report Process

Based on a recent training opportunity for Staff and Planning Commission members, staff requests discussion on the staff report process and the intention going forward with the staff recommendation only being presented at the public meeting. A staff report would still be provided with the meeting packet and posted on-line but without a staff recommendation being listed.

-Subdivision Bond Process

Staff requests discussion on the City's final subdivision plat review process to include any necessary project bond improvement estimates to be reviewed with the final subdivision plat. At the time of the plat recording the remaining improvements included on the project bond estimate with the addition of a general annual inflation rate will be used by staff to determine the project bond amount. The Planning Commission will continue to review bond reduction and extension requests and public acceptance recommendations to the City Commission.

OFFICIAL MINUTES OF THE MEETING

GOODLETTSVILLE PLANNING AND ZONING COMMISSION

November 7, 2022

Goodlettsville City Hall

5:00 p.m.

Massie Chambers-Auditorium

Present: Chairman Tony Espinosa, Jeff Duncan, Grady McNeal, Jeff Parnell, Mayor Rusty Tinnin, Scott Trew, and Judy Wheeler

Absent: N/A

Also Present: Addam McCormick (Staff), Tim Ellis- City Manager, Russell Freeman-City Attorney, Sharon Reed (Staff) and Alex West (Staff)

Tony Espinosa called the meeting to order, and Trew offered prayer.

Item #1 Approval of Agenda: Wheeler made a motion to approve the agenda, McNeal seconded the motion. The motion passed unanimously.

Item #2 Approval of October 3, 2022 Meeting Minutes: Trew made a motion to approve the minutes of the October 3, 2022, Tinnin seconded the motion. Parnell abstained since he was absent at the meeting. The motion passed.

Item #3 Espinosa opened the Public Forum on Planning Related Topics.

James Brentlinger, 1020 Louisville Highway – Louisville Highway Industrial Development

- Concerns with the survey submitted discrepancy of the lot size verses his deed
- Purchased the property seven (7) years ago
- Plan to renovate the house and move his wife and nineteen-month-old son into the home
- Concerns with the retention pond and standing water with a toddler
- Concerns with no fencing around the retention pond
- Concerns with drainage and erosion on the front of his property
- Concerns with the seismic activity for potential blasting and noise pollution
- Concerns with the submitted traffic study
- Concerns with the landscaping design being the only buffer from the entrance of their property

Espinosa asked for any additional comments and no additional comments were received. Duncan made a motion to close the public forum, seconded by Tinnin. The motion passed unanimously.

The Public Forum was closed.

AGENDA

Item #4 Dry Creek Commons: Vastland, Eatherly. McClung Development LLC: Requests performance bond reduction.

Item Representative: Adam McCormick-Staff

Staff Discussion:

- Project Status: Forty (40) of the forty (40) units in phase one are completed
- Subdivision Plat Information: Phase One Horizontal Property Regime Master Deed–recorded

May 29, 2020

- Subdivision Roadways: Dry Creek Commons private drive
- Subdivision Bond Information: Performance Bond \$ 115,000 January 30, 2023 Expiration
- Remaining Improvements are concrete curb and asphalt binder surface repairs due to construction, asphalt surface and pavement striping, replacement landscaping, detention pond bank finish work
- Remaining Improvement Cost Estimate: \$ 85,000
- Staff would recommend approval to reduce bond to \$ 40,000 after completion of asphalt surface final layer and pavement striping and concrete repairs. Bond extension for one additional year to ensure the remaining improvements are completed and additional construction in phase two (2) is completed before the phase one bond is released. The project improvements are private improvements.

Planning Commission Discussion:

- Parnell asked McCormick if they can approve with stipulations?
- Freeman asked McCormick the current bond expiration date.
- McCormick responded January 2023 and explained the remaining repairs and improvements.
- Parnell asked McCormick if he expected the paving to be complete within the next month?
- McCormick responded yes that is his understanding.
- Espinosa asked McCormick if any issue with timeline of the expiration date January 2023?
- McCormick responded their goal is to have the paving and phase one finished this year.
- Parnell questioned if the board has approved to reduce a bond in the past in similar circumstances?
- Espinosa responded yes, the board has voted to approve in the past.
- Duncan commented he interprets this as giving staff permission to lower the bond once the improvements are completed.

Motion: Motion by Duncan to approve the request, seconded by Wheeler. The motion passed unanimously.

Item #5 Dry Creek Townhomes Phase One / Ragan Smith Associates Inc: Request revised final subdivision plat approval for fifty-five (55) town home lots and public right of way dedication on 9.61 acres on Robert Cartwright Drive. Properties referenced as Davidson County Tax Map/Parcel#03300029700 and a portion of 03300004200 and are zoned HDRPUD, High Density Residential Planned Unit Development. Property Owner: Dry Creek. LLC

Item Representative: Adam McCormick-Staff

Staff Discussion:

- The final subdivision plat was approved at the October 2022, meeting based on the understanding the lots were being set up under the horizontal property regime property ownership recording format.
- The property owners have requested the revised final subdivision plat amendment to include individual lots instead of the horizontal property regime property format.
- Staff would recommend approval.

Planning Commission Discussion:

- Duncan asked if there were any changes in the layout from original approval.
- McCormick responded no changes in the layout- showing fee simple lots instead of horizontal property set-up
- Parnell asked if phase one (1) and phase two (2) going to be the same and for the City pros and cons

from horizontal property format to individual lots.

-McCormick responded it is still for sale property, common areas, and rights-of-way are public.

-Parnell questioned from a legal opinion does it make a difference to the City changing from horizontal property to fee simple?

-Freeman responded no difference.

-McCormick responded the way it is set-up and recorded.

Motion: Motion by Trew to approve the request, seconded by McNeal. The motion passed unanimously.

Item #6 Al Neyer Louisville Highway Industrial Development/ CESO, Inc: Request site plan approval for two (2) industrial buildings totaling 225,200 square feet at 1016 Louisville Hwy 31W. Properties referenced as Sumner County Tax Map 141 Parcels# 58.00, 58.02, 59.00. Properties are zoned CG, Commercial General, and IC, Industrial Commercial. Property Owners: Felix, Nancy, and Sarah G Neely (#12-22)

Item Representative: Kelly Hiatt, P.E. Manager with Al Neyer, Matt Regenold, CESO

Staff Discussion:

-The project includes two (2) buildings totaling 225,200 square feet with the north side building at 123,200 square feet and the south side building at 102,000 square feet.

-The existing site includes multiple industrial buildings that will be demolished with the project.

-The project traffic study and design are currently being reviewed by TDOT, Tennessee Department of Transportation for any Louisville Hwy 31W turn lane and I-65 ramp improvements required with the project.

-Staff recently was involved in a meeting reviewing the I-65 widening project preliminary design plans. The preliminary plans include signalized intersections for both the north and south bound ramp intersections at exit 98.

-The TDOT I-65 project is currently projected to start in the spring of 2025.

-The City's Engineer consultant is currently reviewing the revised plans.

-The items previously discussed being a concern with the project design was the detention pond outlets connections to existing off-site ditches leading to the drainage culverts under Louisville Hwy 31W which all drain to Slaters Creek.

-The project includes three (3) storm water pond facilities and a section of the stream running through the property being piped.

-The developer is proposing to pay the City's sidewalk in-lieu of fee instead of installing sidewalks along the Louisville Hwy 31W frontage of the property.

-The developer is requesting a design variance from the City's Design Guideline requirement from the industrial provisions regarding building walls facing public streets to include thirty-three (33%) percent brick or stone only on the street facing building wall section.

-The remaining wall areas are permitted to be tilt up panel concrete and metal walls.

-The project design includes with the north building a defined building entrance/office area with the tilt up panel concrete wall design.

-The design variance request is based on the location of the north building in relation to Louisville Hwy 31W since most of the north building is behind buildings along Louisville Hwy 31W and the separation of the front facing building wall to Louisville Hwy 31W is roughly 375 feet behind a landscaped feature.

-The south building would not be covered by the regulation due to the building location behind the

building and lots along Louisville Hwy 31W.

- The developer is requesting with transitional buffer yards along the north and east property lines between the IC, Industrial Commercial and Agricultural and CG, Commercial General zoning districts to install a solid decorative stamped vinyl fence with a line of landscaping to reduce the width of the buffer requirement.
- The buffer areas include sloped grades with limited areas for masonry wall or wood fence with masonry columns.
- The City's buffer requirements permit reductions to buffer widths and number of plantings with the installation of masonry walls.
- The City has permitted wood fences with masonry columns and bases as alternatives to solid masonry walls in buffer areas.
- The proposed fence design would be required to be reviewed as an alternative fence/wall material.
- Staff would recommend approval with stipulations:
 - Stipulation - Approval of revised plans by City's Engineer Consultant prior to any City Land Disturbance permit issuance
 - Stipulation - City's Fire Department review and approval of revised layout plans regarding turn arounds shown with the fire truck turn study information
 - Stipulation - Landscaping or other screening method for grouped utility meter/connection area at the Louisville Hwy 31W drive entrance.

Planning Commission Discussion:

- Hiatt discussed the Al Neyer project previously before the board for re-zoning to comply with the master plan.
- Hiatt discussed the previous plans, building smaller buildings, and revised the traffic study.
- Hiatt explained these are speculative buildings, due to the size lighter industrial type user with rear loading docks, and are class A buildings equivalent to an office building in downtown Nashville with all the special amenities.
- Hiatt explained they have built in Wilson County and Lebanon and are excited to build in Goodlettsville.
- Regenold discussed the traffic study AM peak hours are 7 am to 9 am and PM hours are 4 pm to 6 pm.
- Regenold discussed truck traffic with a speculative building not an exact mix but following the same regulations it is 3% to 5% for trucks.
- Regenold discussed the northern drainage pond location, maintaining the swale flow draining into the right-of-way.
- Regenold discussed the storm water retention, detention pond and the under drain to filter out and discharged downstream.
- Regenold discussed the request for a different fence with masonry and concern with blasting rock
- Hiatt discussed blasting and seismic monitoring during the entire process.
- McCormick asked if the company they use for monitoring will send out preliminary notices for residents/property owners
- Hiatt responded not sure what their policy process is but will be within State regulations.
- McCormick asked to explain how the storm water will drain into the 31W culvert.
- Hiatt responded they are proposing improvements to the swale to keep the drainage in the right-of-way to the culvert.
- Regenold explained they will go back and review the survey and work with the landowners to correct the property size.
- Hiatt discussed the survey, title and any discrepancies will be clarified and adjust the design if

necessary.

- Espinosa questioned if landscaping is the only barrier between the properties?
- Hiatt responded yes, that complies with the code.
- Espinosa commented there was a question regarding noise pollution.
- Hiatt responded noise pollution for class A buildings are not manufacturing so they will comply with the City noise ordinance.
- Duncan commented on the culvert on 31W taking the flow away from the discharge point into the Pond
- Regenold responded because of the slope not all of it will and discussed the areas for drainage
- Hiatt responded and discussed the right-of-way drainage and the impervious areas
- Regenold discussed the pond on the South side of the property and drainage
- Hiatt responded they will be happy to work with the City engineer to make sure all the drainage goes where it is supposed to flow.
- McCormick commented he has talked with the engineer regarding the storm water design and property owner to make sure it does not pond on the front of his property.
- Hiatt commented they hope to correct the problem in the area they are draining into.
- Duncan commented on the seismic monitoring and velocity wave for a blasting survey.
- Tinnin discussed the ditch on the other side of the highway and if it connects to the creek
- Regenold responded it does connect to the creek.
- McNeal questioned McCormick the staff note proposing to pay the City's sidewalk in-lieu of fee how does that work?
- McCormick responded it is an option they have to pay a sidewalk fee rather than put in a sidewalk along the road where there are no plans for a sidewalk.
- McNeal questioned the longevity of the vinyl fencing?
- McCormick responded the key would be the maintenance and cleaning of the fencing.
- Trew asked if the safety of the detention pond was addressed
- Hiatt responded planting landscaping in between the home and basin not to jeopardize a gas line and power line to the home
- Trew asked with a heavy rain how deep will the pond get and how long will it stay?
- Regenold responded he did not have the information in front of him.
- Trew asked for a guess?
- Regenold responded no more than four (4) to six (6) feet in one-hundred-year flood storm which is a very high-volume storm, five (5) to ten (10) year standard storm less than foot and half and will drain quickly.
- Parnell explained according to the project plans the pond elevation and flood storm volume.
- Parnell discussed the grading of the pond and child safety around the pond.
- Parnell discussed the culvert in front of the neighbor's house, culvert south of the neighbors, and the metal driveway culvert and how much water is draining from the south.
- Regenold responded when they did the basin study it was considered more drainage was coming to the pond and the flow coming out of the pond was below pre-existing flow conditions.
- Parnell asked about the sixty (60) inch pipe is that existing or proposed?
- Hiatt responded actually both, there is an existing pipe, but they are proposing to replace it with a another type of sixty (60) inch pipe
- Parnell commented everything makes sense and the City engineer will look at the drainage calculations and make determinations because it was hard to follow in the project plans
- Hiatt responded a full report was provided to the City engineer that describes all that.

- Parnell commented there will be no more proposed development in the location.
- Hiatt responded correct and discussed the re-design of the green planting.
- Parnell commented on the property owner being surrounded by the industrial area and wants to make sure his concerns are addressed.
- Duncan discussed the wall product and asked if it could be a test case to have staff evaluate over a timeframe period of three (3) to five (5) years to see if it has the appearance per the plans.
- Duncan commented it may be a good alternative for industrial type areas.
- Ellis responded he thought that was an excellent idea to monitor the wall over the next thirty-six months and report back to the board how it has withheld and maybe become part of the preferable retaining system.
- Tinnin commented thirty-six months from completion.
- McCormick asked any other comments or thoughts on the building.
- Duncan responded it sounds reasonable and from the rendering views he has no problem.
- Tinnin commented people can go to the web-site to see the buildings.

Motion: Motion by Duncan to approve the request with the four (4) stipulations referenced in meeting, seconded by Wheeler . The motion passed unanimously.

Item #7 BJ'S Wholesale Club/Barge Design Solutions: Request site plan approval for a 103,004 square feet retail building at 1000 Rivergate Parkway. Properties referenced as Davidson County Tax Map/Parcel# 02614003900, 026140002700, 02614005300, 02600000700, 02600012700, and 02614004600 and are zoned CSL, Commercial Services Limited and GOPUD, General Office Planned Unit Development. Property Owners: BJ Rivergate, LLC and KDI Rivergate Mall, LLC (#13-22)

Item Representative: Cameron Zurbruegg, Hendon Properties Developer

Staff Discussion:

- The project includes the removal of an existing movie theater and existing parking lots and alteration of multiple property lines in the development area.
- The project fuel station and the intersection of Rivergate Private Drive and Conference Drive are under the Metro Nashville planning and zoning jurisdiction and will require their review and approval.
- Metro Nashville recently approved an alteration of the original Rivergate Mall master plan zoning for this property to permit the fuel center use.
- Staff requested a limited traffic study due to the existing drive and signalized intersection improvement based on previous higher traffic conditions to determine the need for any traffic signal timing alteration at both ends of the private Rivergate Drive mall frontage road. Per the applicant, Metro Public Works has reviewed the traffic study and any signal timing alterations would be as required by Metro.
- The project includes a 103,004 square feet general retail building including an accessory vehicle service center similar to other large scale retail sales uses.
- The vehicle service center is an accessory to the primary general retail sales use.
- The project will require a final subdivision plat amendment to be reviewed by the Planning Commission to alter the existing property lines and combine the multiple properties/lots into one for the project.
- The final subdivision plat will also require alteration of existing easements due to the lot alterations.
- The City's Consultant Engineer submitted additional comments with the main comment including additional storm water calculations revisions needed for the proposed project connection to the existing thirty (30") inch drainage culvert that drains the project area.
- The project design includes underground storm water quality and quantity facilities.

- Staff sent the remaining consultant engineer comments to the project design engineer and they agreed with the consultant comment items being approval stipulations.
- The developer is requesting a variance from the City's Design Guidelines to permit concrete tilt-up panel construction as an alternative material for commercial developments.
- The City's standards permit the tilt up panel with industrial developments.
- The plans show a majority of the building including the tilt-up panel construction with sections of brick materials at the building main entrance area and the brick columns/pilasters along the building elevations to break up the building wall areas.
- The concrete tilt-up panel construction would be reviewed as an alternative material with a commercial development.
- Staff discussed options with the developer due to the large scale of the building including reviewing brick installation along sections of the building front and along half of the building side walls with the back half of the side walls and rear wall remaining the concrete tilt-up panel construction with paint to match the other building areas.
- The developer has requested the Planning Commission's discussion on the landscaping requirement for a building front wall foundation landscaping feature due to the location of the building fronting a private drive instead of a public street.
- Staff would recommend approval with stipulations:
 - Stipulation -Approval of revised plans by City's Engineer Consultant prior to the City's land disturbance permit issuance
 - Stipulation - Final subdivision plat reviewed and approved by the Planning Commission including revised property lines and easement locations prior to building permit issuance.
 - Stipulation - Building elevations (front elevations red area will be brick with brick columns/pilasters and front entry area and half of side wall red areas to be brick others tilt up panel painted per elevations) building foundation planting feature as determined by the Planning Commission based on meeting discussion.
 - Stipulation - Staff to confirm any required building material alterations or foundation planting feature requirements prior to the building permit issuance.
 - Stipulation - Revised parking lot lighting plan to reduce parking lot pole light height to be consistent with building height.
- Ellis addressed the Planning Commission stating the project came to the City over twenty-four (24) months ago associated with a different site. They have wanted to be in Goodlettsville for over two (2) years. It is a unique concept bringing a third level membership club into the middle Tennessee area. Currently they have one under construction in LaVergne, and soon to begin in Mt Juliet. Staff has worked with Hendon and BJ's and really worked with all parties associated over the past week. They have made great progress to meet our design standards for this significant size building.
- Ellis stated City staff normally does not get into negotiating but this is such a significant piece as a City in regard to our local economics and economy we felt like we needed to.
- Ellis stated this project started twenty-four (24) months ago with the project name Clubhouse and we are here before you all for consideration of a site plan.

Planning Commission Discussion:

- Zurbruegg discussed working with Hendon properties for over thirty (30) years.
- Zurbruegg discussed the BJ's project originally was going to the Macy's building, but that deal did not make and Hendon provided them a successful alternative for developing the project.
- Zurbruegg discussed over the past eighteen (18) months they have assembled sixteen (16) acres of

property, which is six (6) parcels, four (4) ownership groups and seven (7) of the sixteen (16) acres of undeveloped property covered in trees.

-Zurbruegg discussed the rezoned Metro 2.6-acre parcel located on Conference Drive and Rivergate owned by KDI Rivergate Mall, LLC.

-Zurbruegg stated everything they have done to date has been successful without any pushback from any municipalities or businesses addressed in the rezoning process.

-Zurbruegg stated they are trying to bring a quality building and quality use to an area that right now is unproductive.

-Zurbruegg stated all the positives are no rezoning issues, no opposition to the project, if approved will be cleaning up sixteen (16) acres, increase vehicle, pedestrian traffic to the mall area, increase City tax revenues and adjacent property values.

-Zurbruegg stated the purpose for being here tonight is to answer any questions you may have so we have certainty of backing from the City before we continue to go forward.

-Espinosa stated adding to his list being right off the exit is an exceptional option and thanked Zurbruegg for bringing the project before the Commission.

-Trew stated he is excited about the project and asked how the square footage compares to the Sam's in Hendersonville?

-Zurbruegg responded the clubs are national competitors and basically have the same format.

-McNeal stated, "Let's start digging".

-Duncan commented on the large number of recommendations for traffic control and asked if this is doable?

-McCormick responded most of the recommendations are on the site which are access points and internal connections.

-Duncan commented it is a perfect site already built for large volume of traffic.

-Parnell commented he is concerned with getting into and out of the site to private roads and getting into and out of the gas station will be difficult.

-Parnell asked if there will be any four (4) way stops into the site or just stop signs?

-Zurbruegg responded not aware of any four (4) way stops but a lot of talk regarding ingress and egress to the fuel center

-McCormick discussed the internal connections on the site plan.

-Parnell discussed concerns with traffic control around the site and mall drive without a four (4) way stop.

-Zurbruegg responded because it is a private drive and mall they have to get approval from Goodlettsville, BJ's, Metro, Dillard's, JC Penny's, Macy's, and Sears when they modify any operating agreements.

-Espinosa asked Parnell if his concerns for entrance and exit are fuel pump or site based?

-Parnell responded for him it is the entire site access points.

-Parnell discussed traffic problems now from Rivergate Pkwy and Target area.

-Duncan commented everything Parnell described going on with the developments and becomes successful will be a better conservation for the mall and the City to add or move a three (3) or four (4) way stops to the location.

-Ellis discussed the re-development of the area that has been needed for some time.

-Ellis commented not the best traffic pattern but they are limited in what they can do and as Duncan commented may need alterations as time goes on.

-Tinnin commented the best blessing they could have would be a traffic problem again in the Rivergate Mall area and we can work on those problems when they are in place and is pleased with the project.

- Zurbruegg commented they would take a second look at the site and discussed additional property from JC Penny's and maybe a way to enhance the access jointly with JC Penny's.
- Parnell commented the Board is very positive and everybody is headed in the right direction and would like the traffic concerns to be addressed going forward.

Motion: Motion by Tinnin to approve the request with the four (4) stipulations referenced in meeting, seconded by Trew. The motion passed unanimously.

Trew requested to be excused for the remainder of the meeting.

Item #8 R&C Enterprises: Request recommendation to the Goodlettsville City Commission to rezone a 0.32 property at 107 Harris Street from R-10, Medium Density to CSL, Commercial Services Limited/Commercial Core Overlay The property is referenced as Davidson County Tax Map/Parcel# 02508002100. Property Owner: Goodlettsville Church of Christ

Item Representative: N/A

Staff Discussion:

- The property is requested to be rezoned to be consistent with the existing adjacent properties zoned CSL, Commercial Services Limited/Commercial Core Overlay.
- The adjacent three (3) properties fronting N. Main north of Harris Street and this referenced property are proposed for a commercial development.
- This referenced property being included in the development area would improve the commercial development opportunities to provide a more "square shaped" development area.
- Staff would recommend approval based on the existing adjacent frontage commercial zoning and the rezoning would provide a consistent line of commercial zoning with adjacent frontage properties along S. Main Street on both sides of Harris Street.
- The City's Comprehensive Land Use Plan includes commercial concentration frontage along this section of S. Main Street.

Planning Commission Discussion:

- No discussion

Motion: Motion by Parnell to approve the request, seconded by Duncan. The motion passed.

Item #9 Zoning Ordinance Amendment/ Planning and Development Services Staff: Request recommendation to the City Commission to amend the Zoning Ordinance Sections 14-201 (3) (ii) and 14-213 (9)(e)(ii)(a) to define a Home Day Care Center as including three (3) to eight (8) kids. **(City resident submitted request)**

Item Representative: Cynthia Morgan

Staff Discussion:

- The City's Board of Zoning and Sign Appeals recently reviewed and denied a conditional use request for a home day care center due to concerns with the setting of the request and questions about the total number of kids that would be kept at the property.
- The Board of Zoning and Sign appeals questioned the City's Zoning Ordinance not including a defined

minimum threshold for a home day care center.

- The City's Zoning Ordinance defines home day care centers up to eight (8) kids being kept in a home.
- The proposed amendment would define a home day care center as three (3) to eight (8) kids being kept in a home.
- Staff included examples from other Middle Tennessee cities and state law.
- Staff received a request from a resident for the home day care center to include four (4) to eight (8) kids.
- Staff's proposed amendment is for three (3) to eight (8) kids for better consistency with the City's Home Occupation Zoning Ordinance provisions.
- The proposed amendment would permit two (2) kids to be kept at a home and not be regulated as a home day care center.

Planning Commission Discussion:

- Parnell asked if only when money is involved?
- Morgan responded a home day care is defined if watching a child for up to three (3) days a week and eight (8) to twelve (12) hours a day even if you are not getting paid.
- McCormick discussed the State's definition of a home day care.
- Freeman discussed the frequency issue.
- McCormick responded the City ordinance would not include kids related by blood or other family members.
- McCormick discussed the request for a home day care to include four (4) to eight (8) kids and what are they comfortable with.
- Duncan responded he is good with four (4) to eight (8) and wants to make sure this is clear and they are being reasonable.
- Morgan responded the State of Tennessee requires a license for five (5) or more kids and she understands that. She is home and trying to help families out that cannot afford day care.
- Freeman discussed the proposed ordinance amendments and the State of Tennessee requirements.
- Parnell discussed City staff having to deal with this issue.
- Espinosa asked McCormick what would be the right threshold three (3) to eight (8)?
- McCormick responded three (3) or more makes a difference and discussed with a home day care they have requirements that must be met.
- Espinosa asked for a motion on a threshold.
- Duncan responded with the examples given four (4) is the minimum.
- Parnell asked Morgan if there was a specific reason, she requested four (4)?
- Morgan responded because that is what the State requirements are.

Motion: Motion by Duncan to approve the proposed language with a four (4) minimum and eight (8) maximum request, seconded by Parnell. The motion passed.

Item #10 Zoning Ordinance Amendment/Planning and Development Services Staff: Request recommendation to the City Commission to amend the Zoning Ordinance Sections 14-205 (3)(b) and 14-213 (9)(h) to include a conditional use in residential zoning districts for an accessory residential unit in defined residential zoning districts. **(City resident/property owner submitted request)**

Item Representative: N/A

Staff Discussion:

- Staff received a request from a property owner for an accessory dwelling unit.
- Staff discussed the City's Zoning Ordinance does not permit accessory dwelling units or accessory buildings to be used for a dwelling unit.
- The owner has requested to discuss the request with the Planning Commission.
- The Planning Commission recently discussed a similar request and decided not to direct staff to provide a Zoning Ordinance amendment for review and recommendation to the City Commission.
- The proposed amendment includes an accessory dwelling unit being either attached or detached to the primary house building.
- The Planning Commission could determine if the accessory dwelling unit would only be permitted to be an attached unit.
- The recommendation is based on the Planning Commission previously discussing and deciding not to request staff to complete a Zoning Ordinance amendment for a similar request.

Planning Commission Discussion:

- Espinosa asked for a motion to defer.
- Duncan commented the board has discussed this subject for a number of years and have not made any movements for a number of reasons.
- McCormick responded the property owner requested to speak to the board.
- Duncan commented he welcomes all to speak to the board or any board of the City.

Motion: Motion by Wheeler to defer the request, seconded by McNeal. The motion passed 5-1. Duncan voted no.

DISCUSSION ITEM

McCormick discussed the Tennessee American Planning Association is offering virtual training for Planning Commissioners & Board of Zoning Appeals members on Friday, November 18th from 8-11:30am. The training is free and will be recorded for those who can't make the live sessions.

Due to a misunderstanding of the agenda, Espinosa asked for a motion to set the deferral aside for agenda Item **#10 Zoning Ordinance Amendment/Planning and Development Services Staff**. Wheeler made the motion to set aside the deferral, seconded by McNeal. The motion passed.

Item #10 Zoning Ordinance Amendment/Planning and Development Services Staff**Item Representative: Josh and Melody Barnes****Staff Discussion:**

- Staff discussed the proposed ordinance

Planning Commission Discussion:

- Barnes commented the request falls under the guidelines and rules.
- Barnes states it is for a family member.
- McCormick asked if the proposal is for attached or detached?
- Barnes responded detached.
- Espinosa discussed the request and asked for comments from the board.

- Duncan responded does this fit in the residential zoning, because residential zoning is based on lot size.
- Duncan discussed the zoning districts with accessory buildings and dwellings.
- Barnes discussed current home size, lot size and proposed accessory dwelling unit.
- Duncan discussed the conditional use in zone R-40.
- McCormick discussed deed restrictions limited to family members of the primary dwelling.
- Duncan discussed once the need goes away what happens to the auxiliary buildings and larger residential zoning districts for these types of requests.
- McCormick responded he can bring back some dimension examples for lots, and discussed accessory dwelling units in planned unit developments and HOA's.
- Duncan discussed zoning in the A, R40, and R25 versus R10 and R7 districts
- Parnell gave examples of guidelines on how they could zone future conditional land use.
- McCormick responded with conditional use there would be a public hearing process.
- Barnes discussed the purpose of the accessory dwelling for her mother and after her mother could be a guest house or studio and will not be moved.
- Parnell discussed the need for this across the City and they need to address ways to utilize the property for the betterment of the citizens.
- Espinosa commented there are things the board will need to work out and think through and asked for a motion.

Motion: Motion by Parnell to defer the request for staff to work on Zoning Ordinance amendment guidelines, seconded by Wheeler. The motion passed.

With no further business, the meeting adjourned at 7:36 pm.

Tony Espinosa, Chairman

Sharon Reed, Planning Assistant

SITE PLAN FOR

MONTICELLO CONDOS

1537 MONTICELLO AVE
GOODLETTSVILLE, TN
DAVIDSON COUNTY

SHEET INDEX

NOTE	PROJECT NOTES
C1.01	DEMO AND INITIAL EPSC
C1.02	SITE PLAN
C1.03	GRADING PLAN
C1.04	INTERMEDIATE EPSC
C1.05	DRAINAGE PLAN
C1.06	FINAL STABILIZATION
C1.07	PHOTOMETRIC PLAN
C2.01	CONSTRUCTION DETAILS
C2.02	CONSTRUCTION DETAILS
C2.03	CONSTRUCTION DETAILS
C2.04	CONSTRUCTION DETAILS
C3.00	NOT INCLUDED IN THIS SET
C4.00*	OVERALL WATERLINE PLAN
C4.01*	WATERLINE PLAN & PROFILE (NOT THIS SET)
C4.02*	WATERLINE DETAILS (NOT THIS SET)
C5.00*	OVERALL SEWERLINE PLAN
C5.01*	SEWERLINE PLAN & PROFILE
C5.02*	SEWERLINE DETAILS
L1.00	OVERALL LANDSCAPING PLAN
A1.00	ARCHITECTURAL PLAN

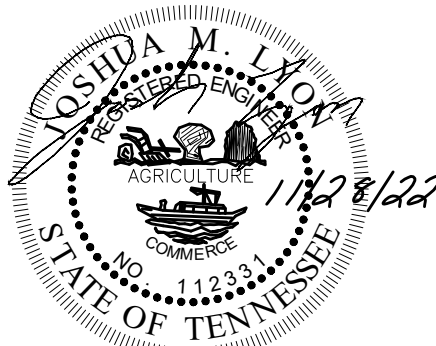
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ENVIRONMENT & CONSERVATION (TDEC)
STAMPED APPROVED PLANS FOR ALL PUBLIC
UTILITY CONSTRUCTION DOCUMNETS

NOT FOR CONSTRUCTION



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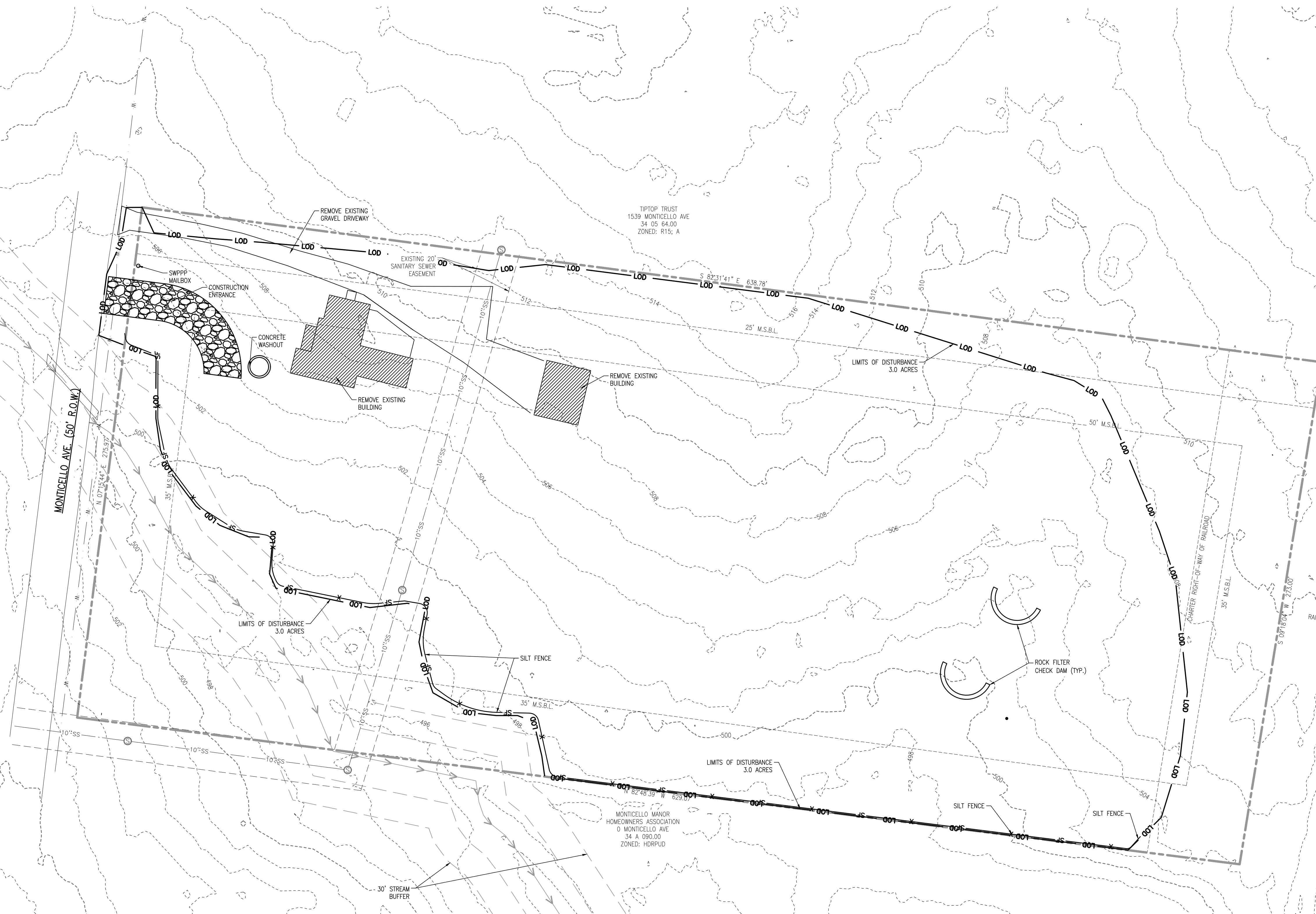
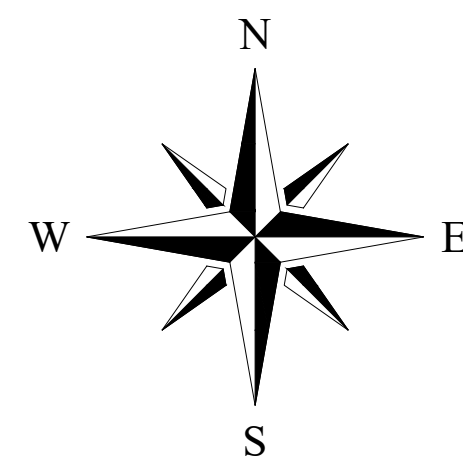


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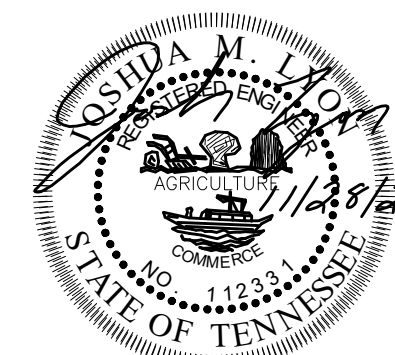
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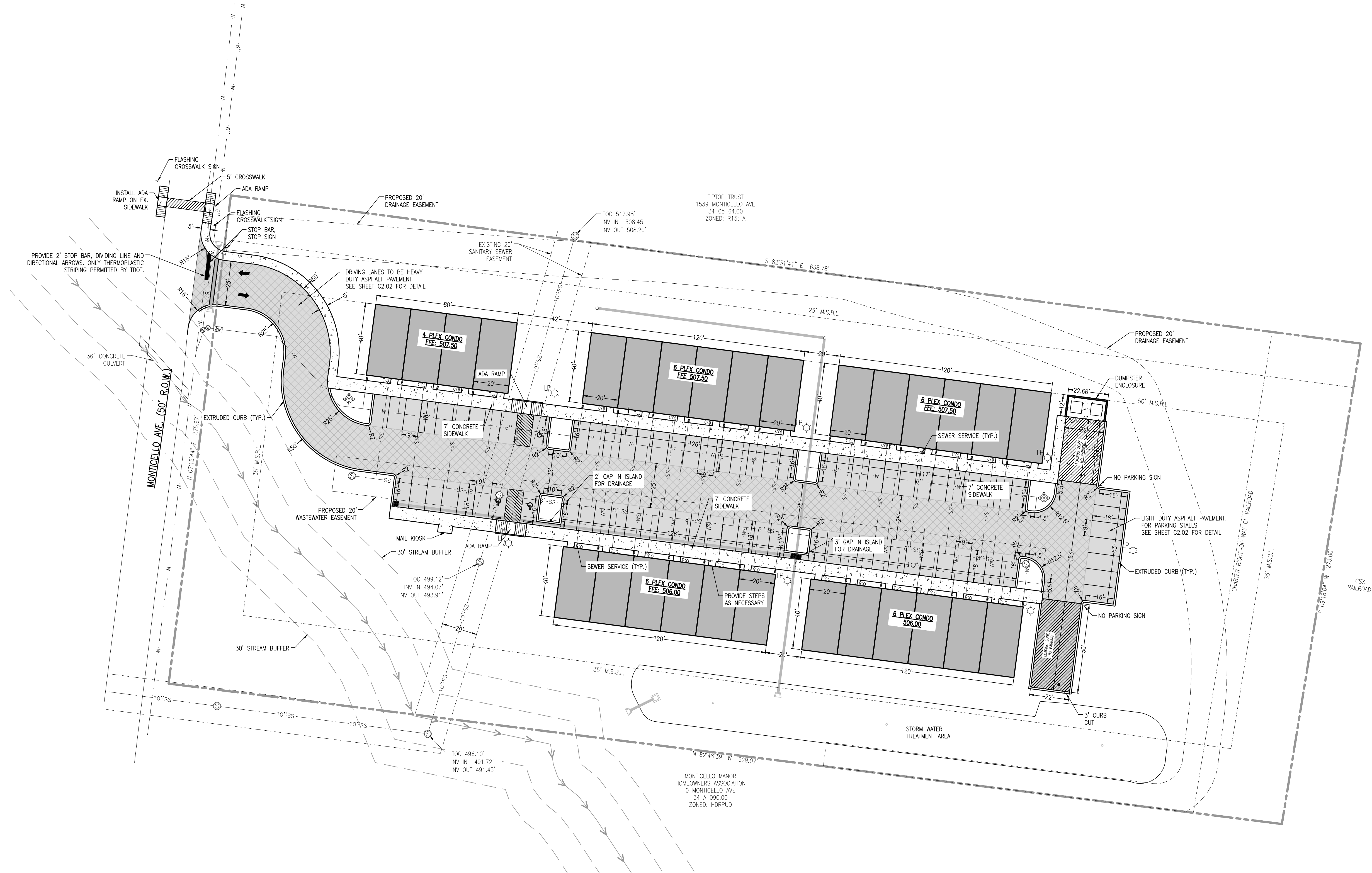
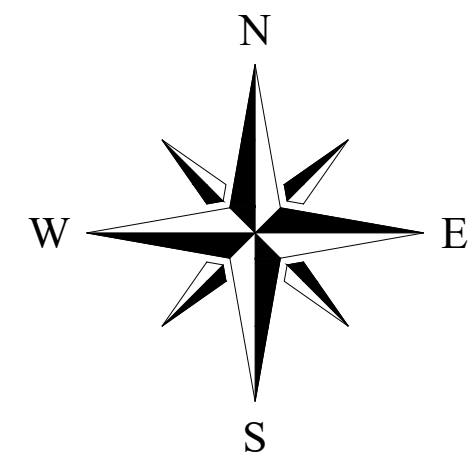
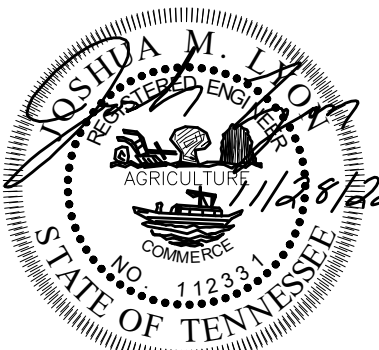
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DEMO &
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SHEET NUMBER

C1.01

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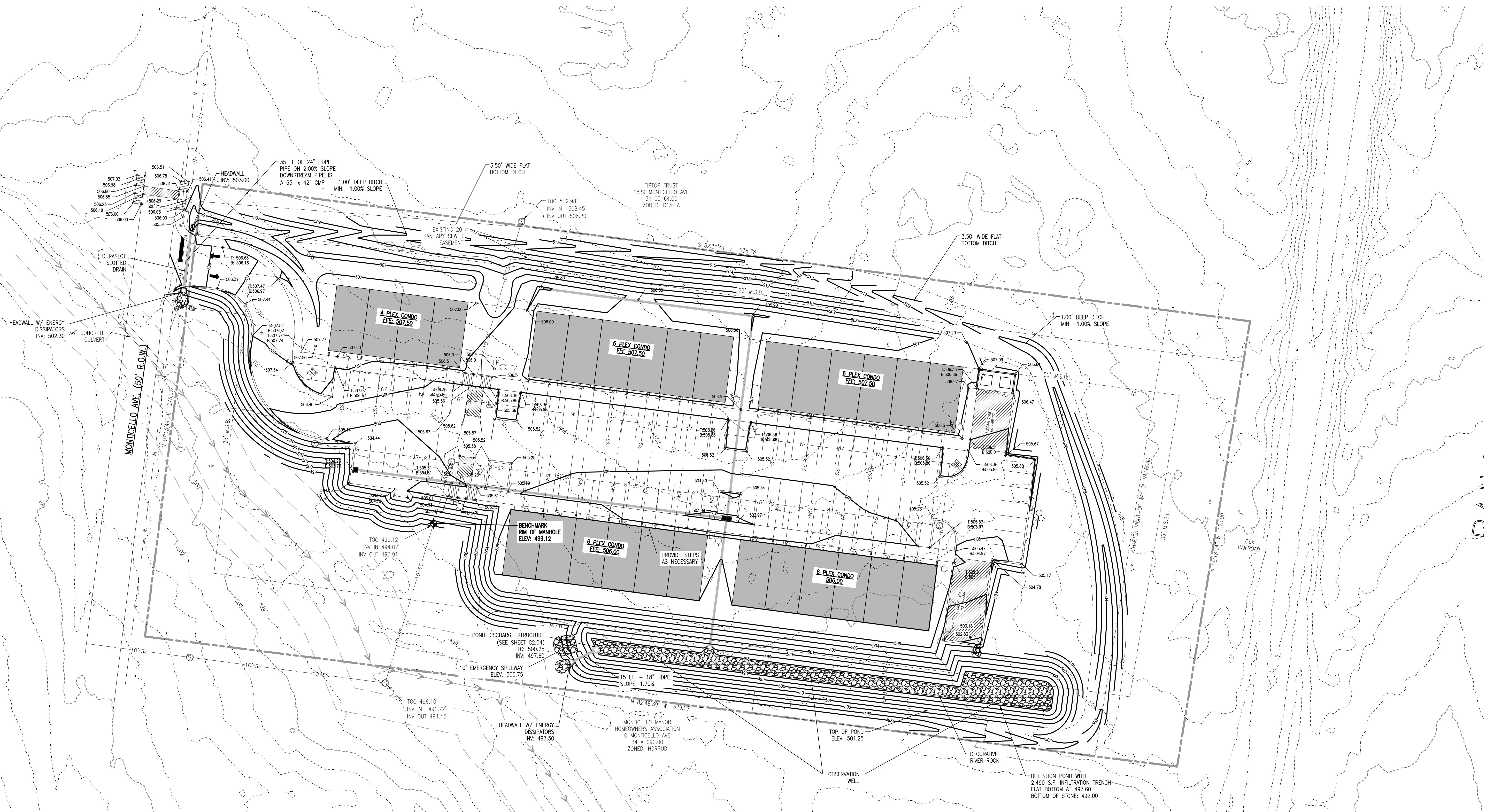
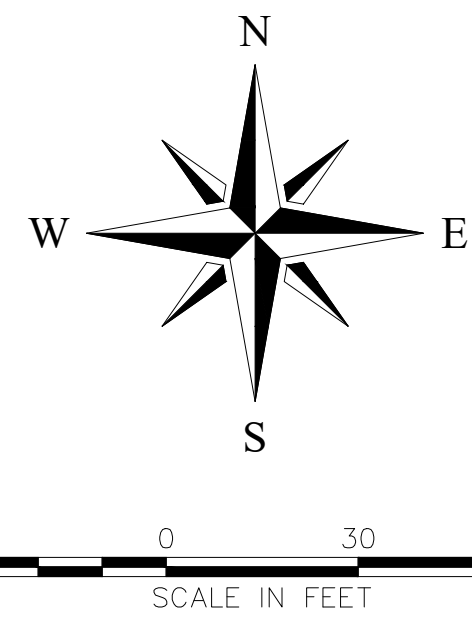
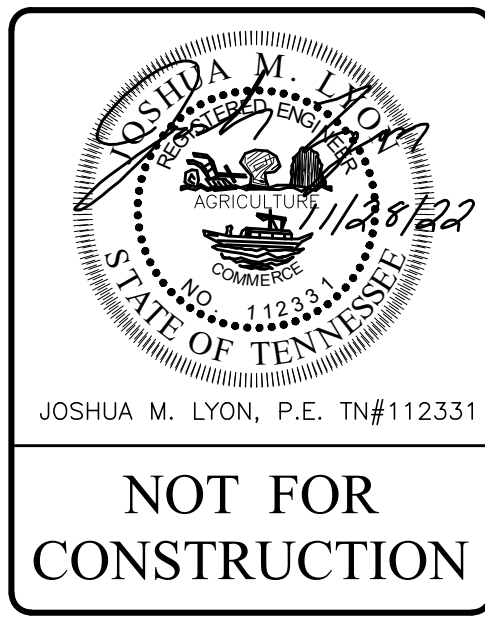
NOT FOR
CONSTRUCTION

**MONTICELLO
CONDOS**
1537 MONTICELLO AVE.
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720

SITE LAYOUT

SHEET NUMBER C1.02

[illegible]

MONTICELLO
CONDOS
1557 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JMI
PROJECT NO.:	C01720
GRADING PLAN	
SHEET NUMBER	
C1.03	

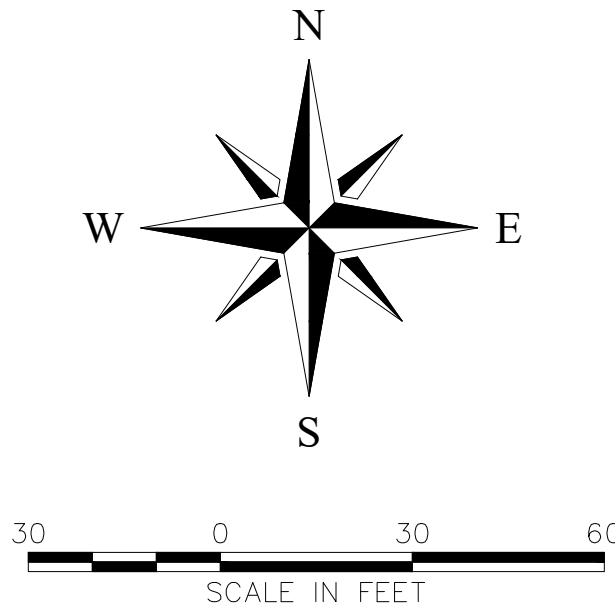
CALL BEFORE YOU DIG

811

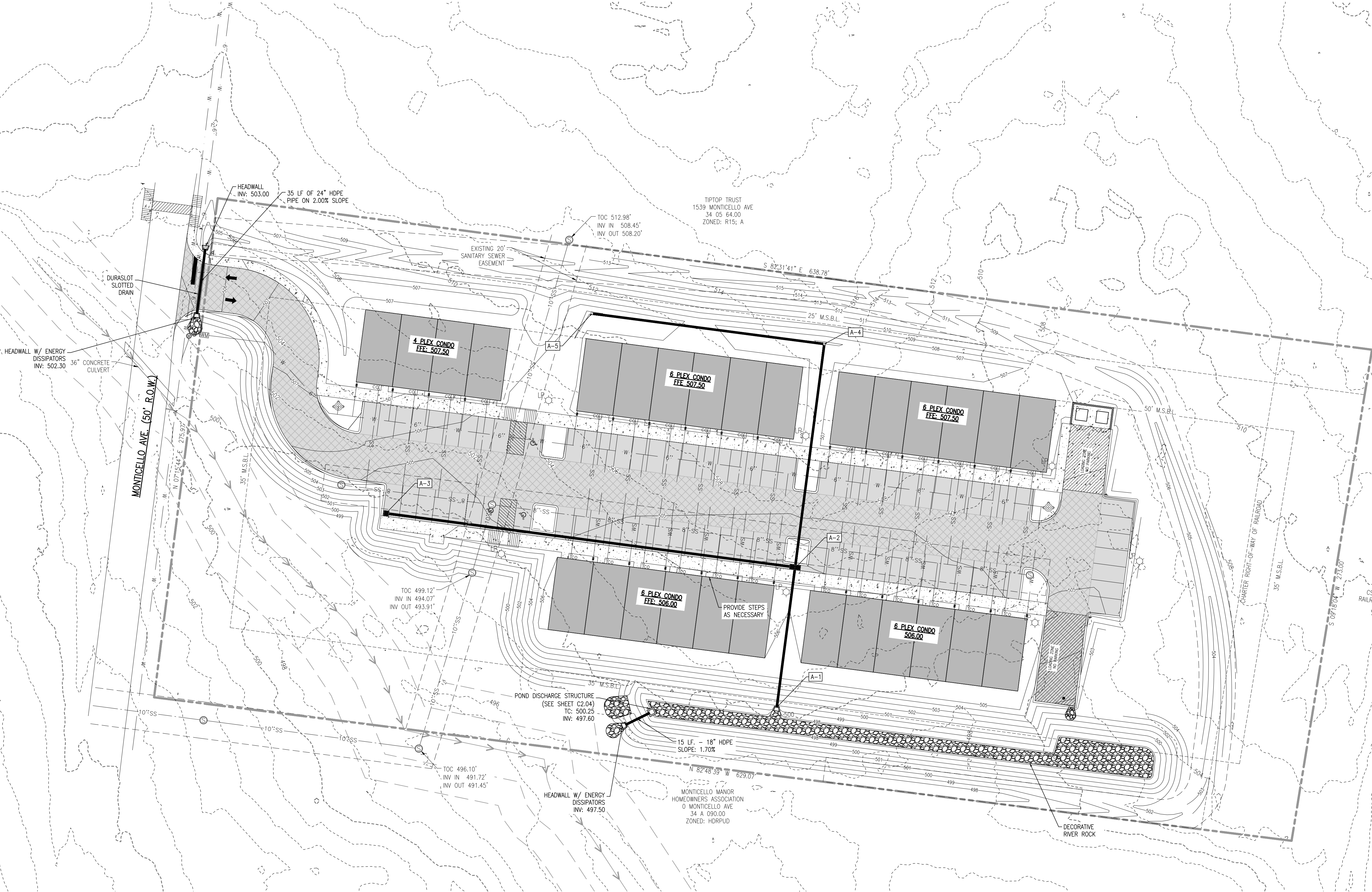
CALL
811
NATIONWIDE

Know what's below.
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DRAIN PIPE DATA												DRAINAGE STRUCTURE DATA					
DESIGN INFO.												DESIGN INFORMATION					
PIPE NUMBER	FROM STRUCTURE	INVERT	TO STRUCTURE	INVERT	PIPE LENGTH (FEET)	PIPE DIAMETER (INCHES)	PIPE MATERIAL	SLOPE (%)	Q _c (CFS)	25 YR Q _b (CFS)	VELOCITY (FPS)	STRUCTURE NUMBER	STRUCTURE TYPE	GRATE	*RIM ELEV.	INVERT	PIPE COVERAGE (IN.)
1	A-5	502.70	A-4	501.37	127	15	HDPE	1.05%	7.92	0.60	6.45	A-1	STANDARD HEADWALL W/ ENERGY DISIPATER	-	-	498.00	-
2	A-4	501.37	A-2	500.15	122	15	HDPE	1.00%	7.74	1.62	6.31	A-2	DOUBLE DROP INLET	4310	503.80	498.76	39.98
3	A-3	501.05	A-2	499.02	222	15	HDPE	0.91%	7.40	2.21	6.03	A-3	SINGLE DROP INLET	4310	503.75	501.05	15.15
4	A-2	498.76	A-1	498.00	76	18	HDPE	1.00%	12.59	9.19	7.12	A-4	18" NYLOPLAST DARIN BASIN	18" DOME	505.90	501.37	37.11
												A-5	18" NYLOPLAST DARIN BASIN	18" DOME	505.85	502.70	25.05
*RIM ELEV. @ BOTTOM OF CURB																	



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www.klobereng.com

REVISIONS	
NO.	DESCRIPTION

JOSHUA M. LYON

REGISTERED PROFESSIONAL ENGINEER

NO. 112233

STATE OF TENNESSEE

JOSHUA M. LYON, P.E. TN#1122331

NOT FOR
CONSTRUCTION

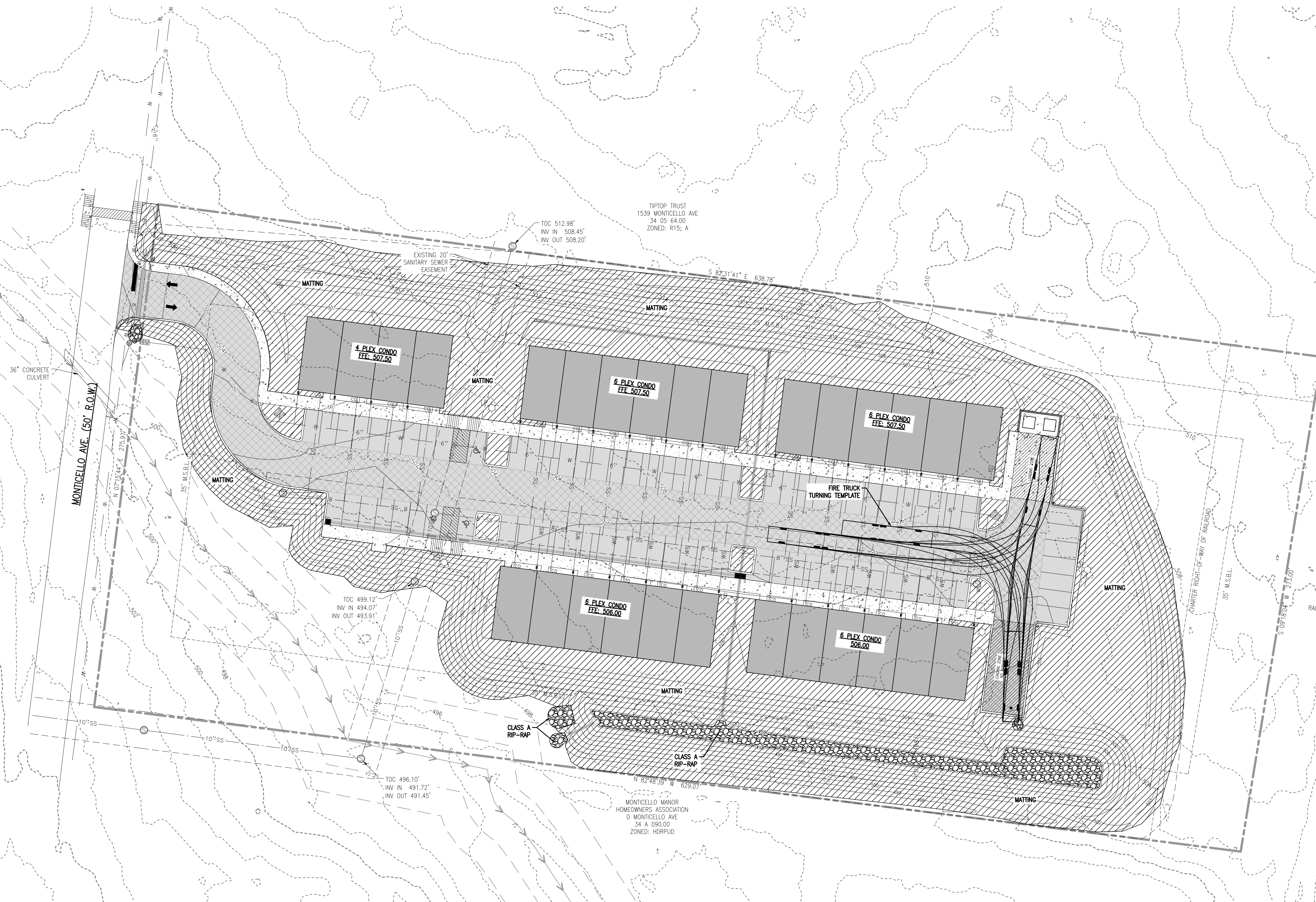
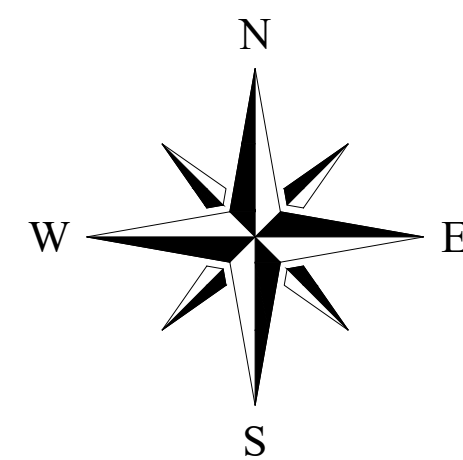
**MONTICELLO
CONDOS**
1537 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720

DRAINAGE
PLAN

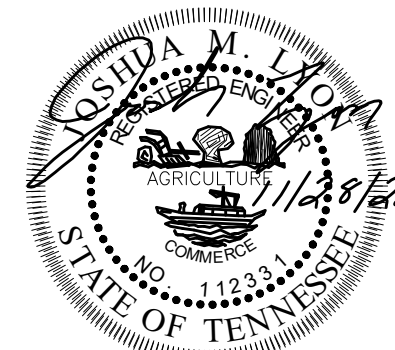
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The logo for Klobber Engineering Services features the company name in a large, bold, serif font. The word "KLOBBER" is on the top line, and "ENGINEERING SERVICES" is on the line below it. The text is centered between two large, stylized, curved lines that sweep upwards from the bottom corners towards the center, framing the text.

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www.klobbereng.com

[illegible]

JOSHUA M. LYON, P.E. TN#112331

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**MONTICELLO
CONDOS**
1337 MONTICELLO AVE.
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

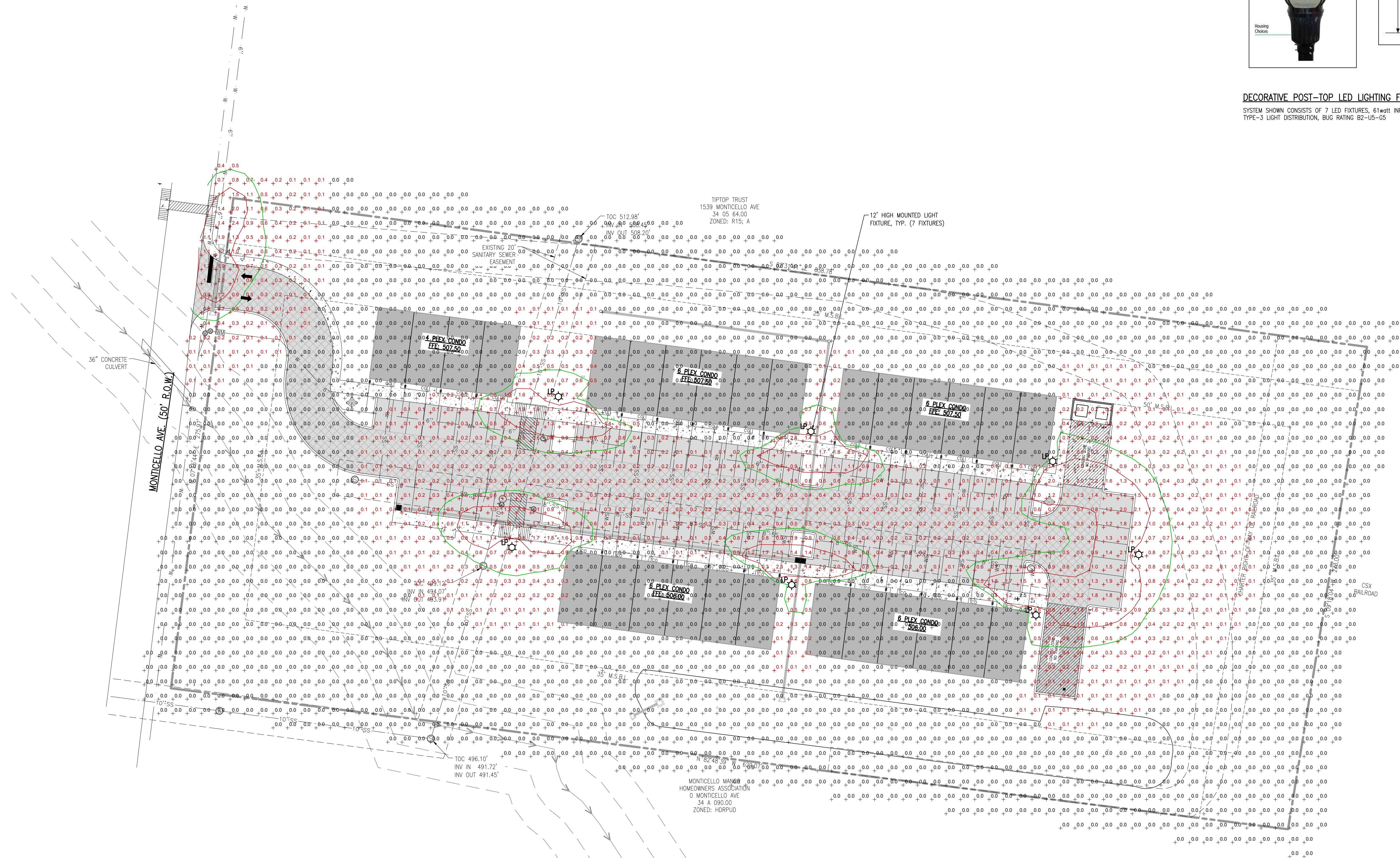
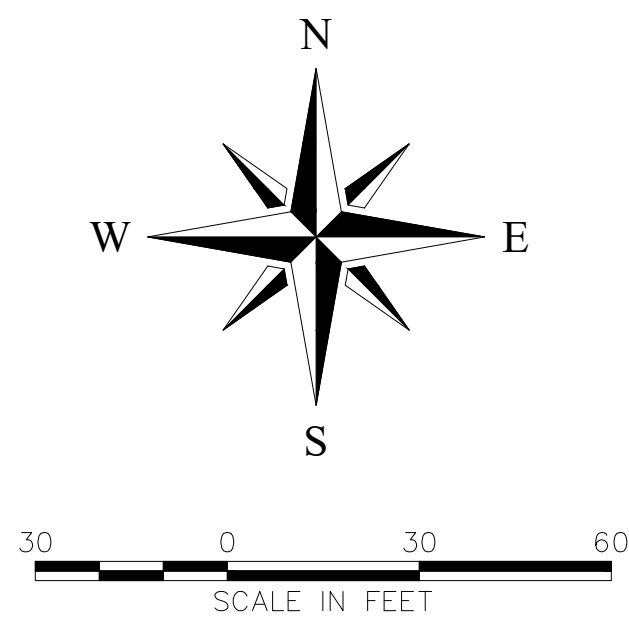
DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720

FINAL STABILIZATION

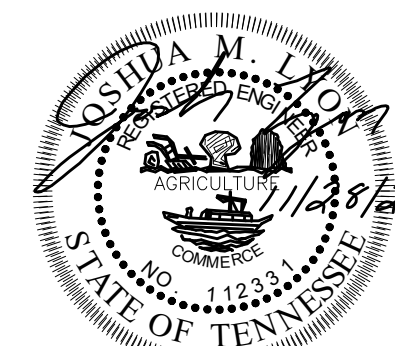
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DECORATIVE POST-TOP LED LIGHTING FIXTURES MOUNTED 10FT ABOVE GRADE:
SYSTEM SHOWN CONSISTS OF 7 LED FIXTURES, 61watt INPUT, 8.3k LUMEN OUTPUT,
TYPE-3 LIGHT DISTRIBUTION, BUG RATING B2-U5-G5

[illegible]

JOSHUA M. LYON, P.E. TN#112331

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CONSTRUCTION

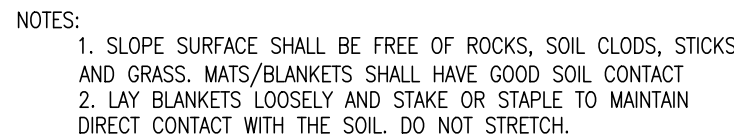
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CONDOS**
1537 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720

PHOTOMETRIC PLAN

SHEET NUMBER

C1.07



NOTES:

1. ALL MATERIAL TO MEET Filtrex® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER

FILTREXX® INLET PROTECTION



STRAW FILTER CHECK DAM

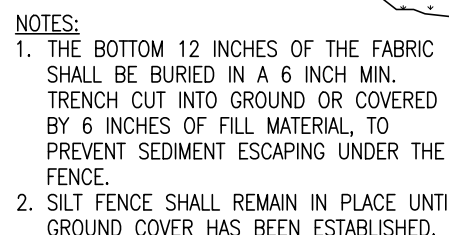
NOT TO SCALE



ROCK FILTER-CHECK DAM

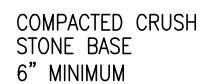
NOT TO SCALE

OUTLET WITH DITCH						
PROTECTIVE APRON DIMENSIONS AND ESTIMATED QUANTITIES						
	(D) - CULVERT SIZE IN INCHES	RIPRAP CLASS	(L) LENGTH OF APRON IN FEET	(H) DEPTH OF APRON IN FEET	(CY) ESTIMATED RIPRAP QUANTITY	(SY) ESTIMATED GEOTEXTILE FAB.
WITH END SECTION	12	2	4.0	1.5	0.9	5
	18	2	6.0	1.5	2.0	8
	24	2	8.0	1.5	3.6	13
	30	3	12.5	2.0	9.3	24
	36	3	15.0	2.0	13.4	32
	42	4	21.0	2.5	27.3	53
	48	4	24.0	2.5	35.6	65



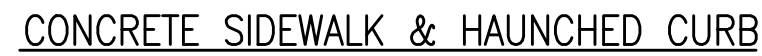
SILT CONTROL FENCE

NOT TO SCALE
METRO STORMWATER MANAGEMENT MANUAL TCP-13

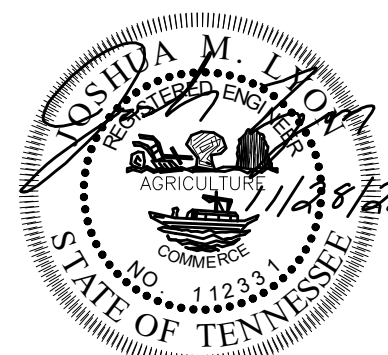


CONCRETE PAVING DETAIL

NOT TO SCALE



NOT TO SCALE

[illegible]

JOSHUA M. LYON, P.E. TN#112331

NOT FOR
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MONTICELLO CONDOS

1537 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720

CONSTRUCTION DETAILS

SHEET NUMBER

C2.01

CMP OR HDPE* BEDDING (NON-PERFORATED)
NOT TO SCALE

TYPICAL PRECAST SINGLE INLET
NOT TO SCALE

WINGED HEADWALL W/ENERGY DISSIPATORS
NOT TO SCALE CLOUD SW-301 OR EQUAL

NYLOPLAST DRAIN BASIN
NOT TO SCALE

TYPICAL FLAT BOTTOM DITCH DETAIL
NOT TO SCALE

REFER TO CITY OF GOODLETTSVILLE UTILITY CUT REPAIR GUIDELINES AND SPECIFICATIONS FOR REQUIREMENTS. (APPENDIX A)

TYPICAL PRECAST DOUBLE INLET
NOT TO SCALE

SLOTTED HDPE DRAIN BEDDING
NOT TO SCALE

- GENERAL NOTES
1. A VARIATION OF THE RAMP MAY BE USED IN CERTAIN CIRCUMSTANCES BUT MUST COMPLY WITH ACCESSIBILITY CODE REQUIREMENTS AND BE APPROVED BY THE CITY.
 2. DESIRABLE SLOPE TO BE USED UNLESS OTHERWISE DIRECTED BY THE CITY OF GOODLETTSVILLE.
 3. MINIMUM LANDING AT TOP OF RAMP IS 5'.
 4. RAMPS SHALL BE PROVIDED AT ALL STREET INTERSECTIONS, WALK LOCATIONS AND MID-SHOCK LOCATIONS.
 5. RAMPS SHALL BE 8" CLASS "A" CONCRETE WITH SYNTHETIC MICROFIBER REINFORCEMENT.
 6. 4" BASE STONE REQUIRED UNDER ALL RAMPS
- N.T.S.



EXTERIOR HANDICAPPED SIGN
NOT TO SCALE



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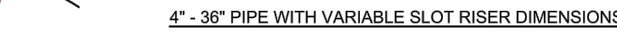


JOSHUA M. LYON, P.E. TN#112331

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**MONTICELLO
CONDOS**
1537 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720
CONSTRUCTION DETAILS	
SHEET NUMBER C2.03	



PIPE DIA.	H	N	F	O	S	PRODUCT (RAT)	PRODUCT (OPEN TOP)
4" (100mm)	VARIES	0.34" (8.6mm)	0.5"	1.25"	1.75"	04RDS	04RDSOT
6" (150mm)	VARIES	0.5" (13mm)	0.75" (19mm)	1.25" (44mm)	2.25"	06RDS	06RDSOT
8" (200mm)	VARIES	0.625" (16mm)	0.75" (19mm)	1.75" (44mm)	2.25"	08RDS	08RDSOT
10" (250mm)	VARIES	0.75" (19mm)	1.25" (32mm)	1.75" (44mm)	2.75"	10RDS	10RDSOT
12" (300mm)	VARIES	1.125" (29mm)	0.75" (19mm)	2.25" (44mm)	2.75"	12RDS	12RDSOT
15" (375mm)	VARIES	1.25" (32mm)	0.75" (19mm)	1.75" (44mm)	2.25"	15RDS	15RDSOT
18" (450mm)	VARIES	1.5" (38mm)	1.0" (25mm)	1.75" (44mm)	2.75"	18RDS	18RDSOT
24" (600mm)	VARIES	1.875" (48mm)	1.0" (25mm)	1.75" (44mm)	2.25"	24RDS	24RDSOT
30" (750mm)	VARIES	2.25" (57mm)	1.5" (38mm)	1.75" (44mm)	2.25"	30RDS	30RDSOT
36" (900mm)	VARIES	2.86" (72mm)	2.0" (51mm)	1.75" (44mm)	2.25"	36RDS	36RDSOT

NOTE:

A. SLOT HEIGHTS TO CONFORM TO DIMENSIONS ON PROJECT PLANS. 1/4" AT EACH END OF EACH LENGTH OF DURASLOT® TO BE DETAILED ON SLOT DIMENSIONS LAYOUTS FOR APPROVAL BEFORE PRODUCTION.

B. DIMENSION FROM GRADE TO PIPE INVERT:
 $H \text{ (ACTUAL SLOT HEIGHT)} + \text{PIPE DIAMETER} + \text{RECESS } (1/8" - 1/4")$

C. H1 AND H2 VARY BASED ON PROJECT SPECIFICATIONS.

REV.	DESCRIPTION	BY	MM/DD/YY	CHKD



ADS
ADVANCED DRAINAGE SYSTEMS, INC.

4640 TRUJMAN BLVD
HILLIARD, OHIO 43026

DRAWING NUMBER:	DATE	BY	CHKD	APPD	TITLE
	NTS				
	1 OF 1				

ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

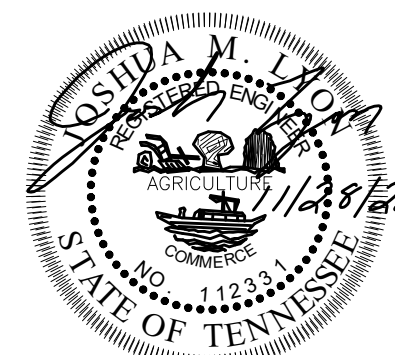
AIDS



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www.klaborgroup.com

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JOSHUA M. LYON, P.E. TN#112331

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CONSTRUCTION

**MONTICELLO
CONDOS**
1537 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720

CONSTRUCTION DETAILS

SHEET NUMBER

C2.04

811 CALL
811
NATIONWIDE

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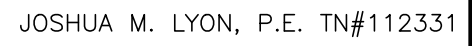
WATER NOTES:

- 1) OWNER(S) WILL BE REQUIRED TO PROVIDE AS-BUILT DRAWINGS OF THE WATER SYSTEM INCLUDING A CERTIFICATE OF INSPECTION BY THE DESIGN ENGINEER.
- 2) ALL WATER METERS & CLEAN-OUTS SHALL BE LOCATED IN GRASS AREAS NEAR CENTER OF LOTS, OUTSIDE OF ANY PROPOSED DRIVEWAYS.



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DAVIDSON COUNTY

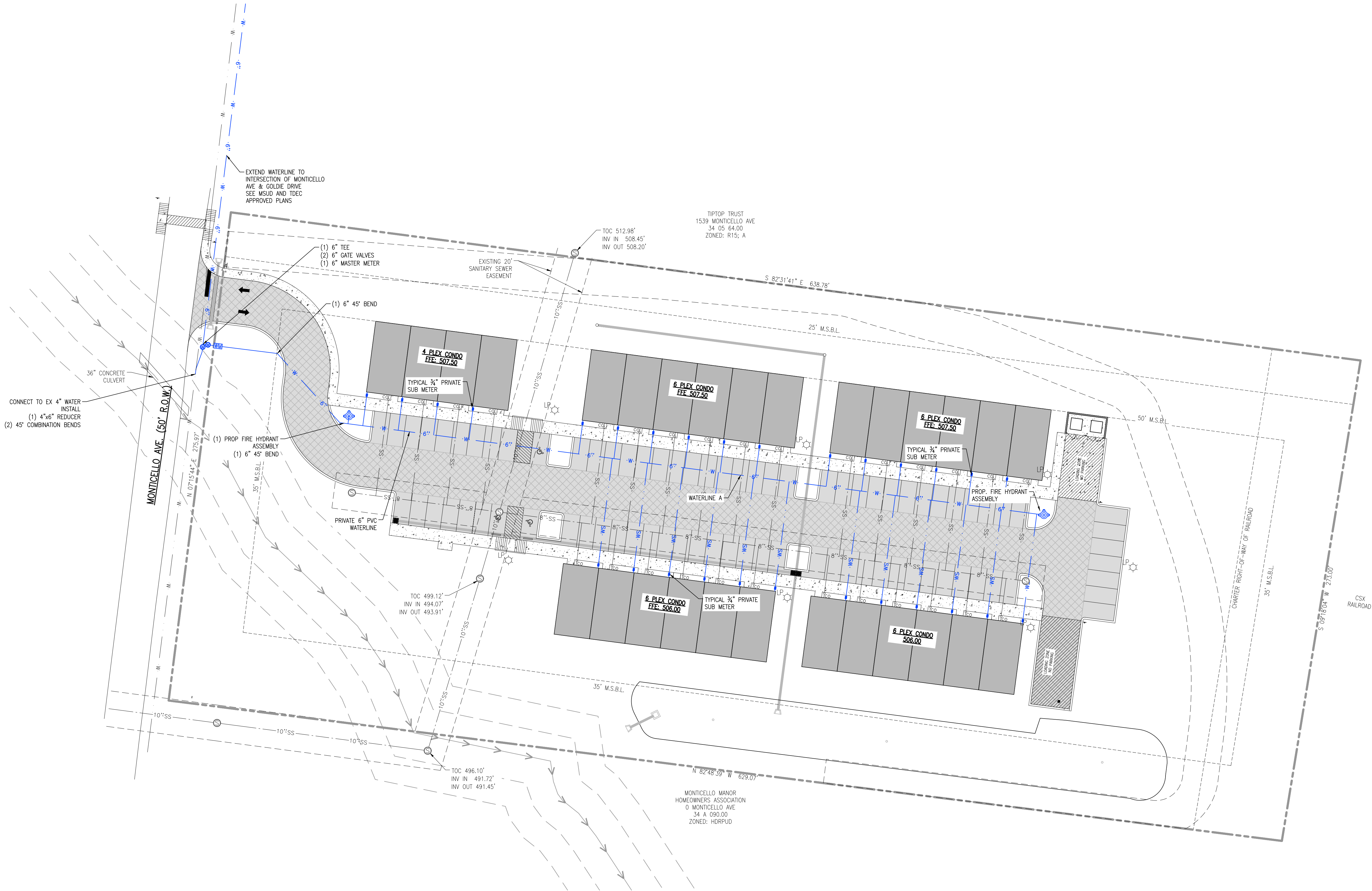
DRAWN BY:	KES
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PROJECT NO.:	C01720

OVERALL WATER LINE PLAN

SHEET NUMBER

C4.00

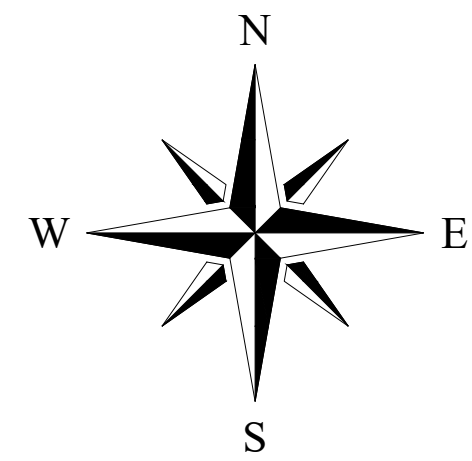
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811
NATIONWIDE

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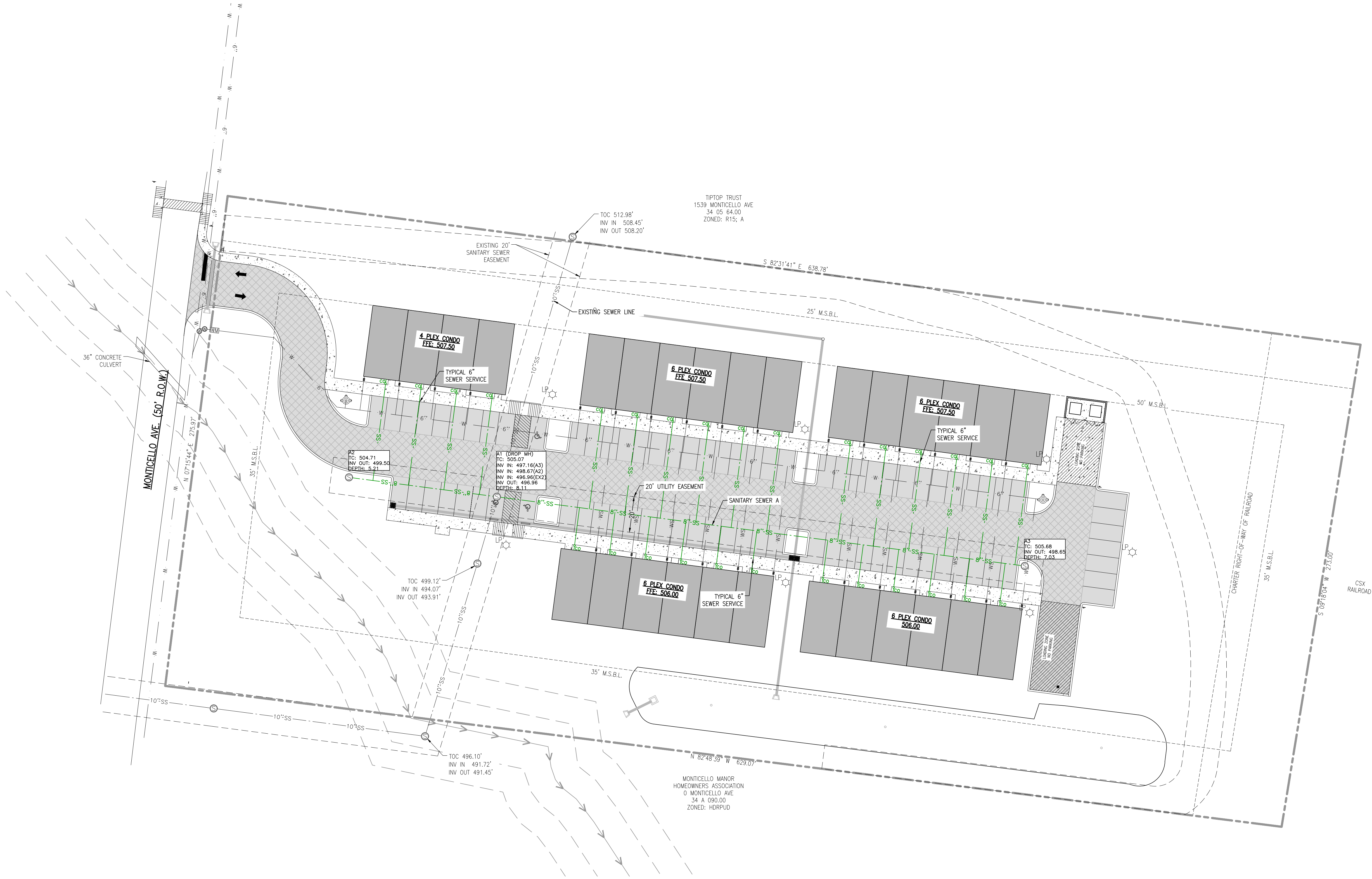
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PROPOSED UTILITIES	
	GREEN – SEWER LINES
	BLUE – POTABLE WATER
	PURPLE – IRRIGATION LINES

WATER NOTES:

- 1) OWNER(S) WILL BE REQUIRED TO PROVIDE AS-BUILT DRAWINGS OF THE WATER SYSTEM INCLUDING A CERTIFICATE OF INSPECTION BY THE DESIGN ENGINEER.
- 2) ALL WATER METERS & CLEAN-OUTS SHALL BE LOCATED IN GRASS AREAS NEAR CENTER OF LOTS, OUTSIDE OF ANY PROPOSED DRIVEWAYS.

[illegible]

JOSHUA M. LYON, P.E. TN#112331

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GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

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CHECKED BY:	JML
PROJECT NO.:	C01720

OVERALL SEWER LINE PLAN

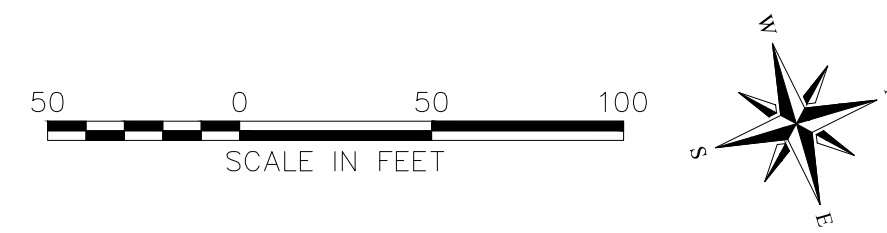
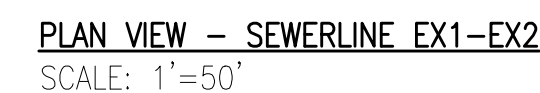
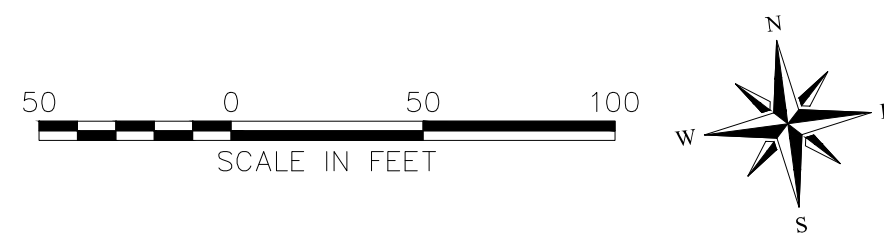
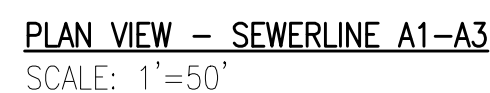
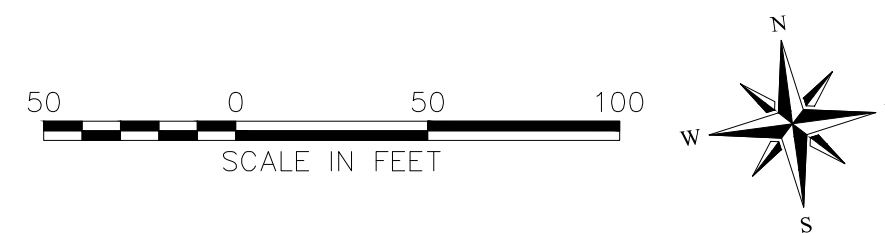
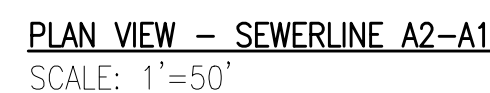
C5.00

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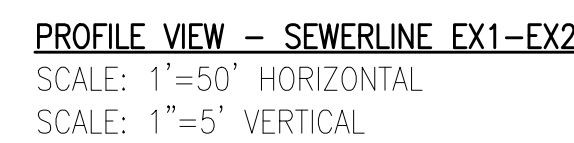
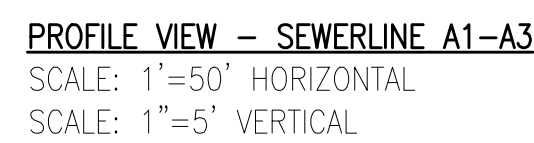
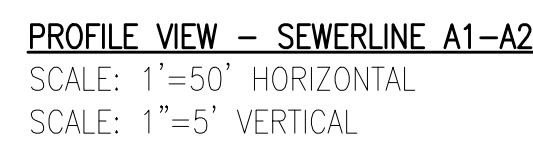


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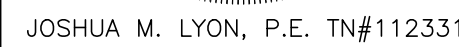
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- 1) OWNER(S) WILL BE REQUIRED TO PROVIDE AS-BUILT DRAWINGS OF THE SEWER SYSTEM INCLUDING A CERTIFICATE OF INSPECTION BY THE DESIGN ENGINEER.
- 2) ALL WATER METERS & CLEAN-OUTS SHALL BE LOCATED IN GRASS AREAS NEAR CENTER OF LOTS, OUTSIDE OF ANY PROPOSED DRIVEWAYS.
3. ALL SEWER MAINS TO BE 8" SDR-35 PVC



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3556 TOM AUSTIN HWY, SUITE 1, SPRINGFIELD, TN 37172
PHONE: (615) 382-2000 FAX: (888) 373-4485
www.klaberco.com

[illegible]

NOT FOR
CONSTRUCTION

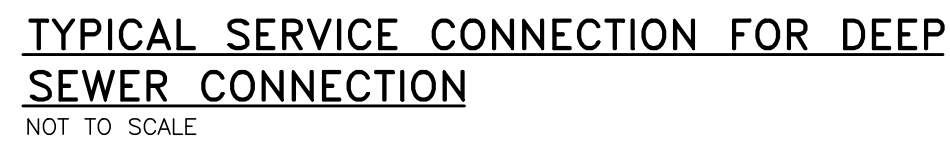
**MONTICELLO
CONDOS**
1537 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720

SEWERLINE PLAN & PROFILE

SHEET NUMBER

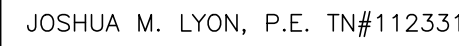
C5.01



TYPICAL BEDDING & BACKFILL OUTSIDE ROADWAY
NOT TO SCALE



TYPICAL 4' FLANGED BASE MANHOLE
NOT TO SCALE



NOT FOR
CONSTRUCTION

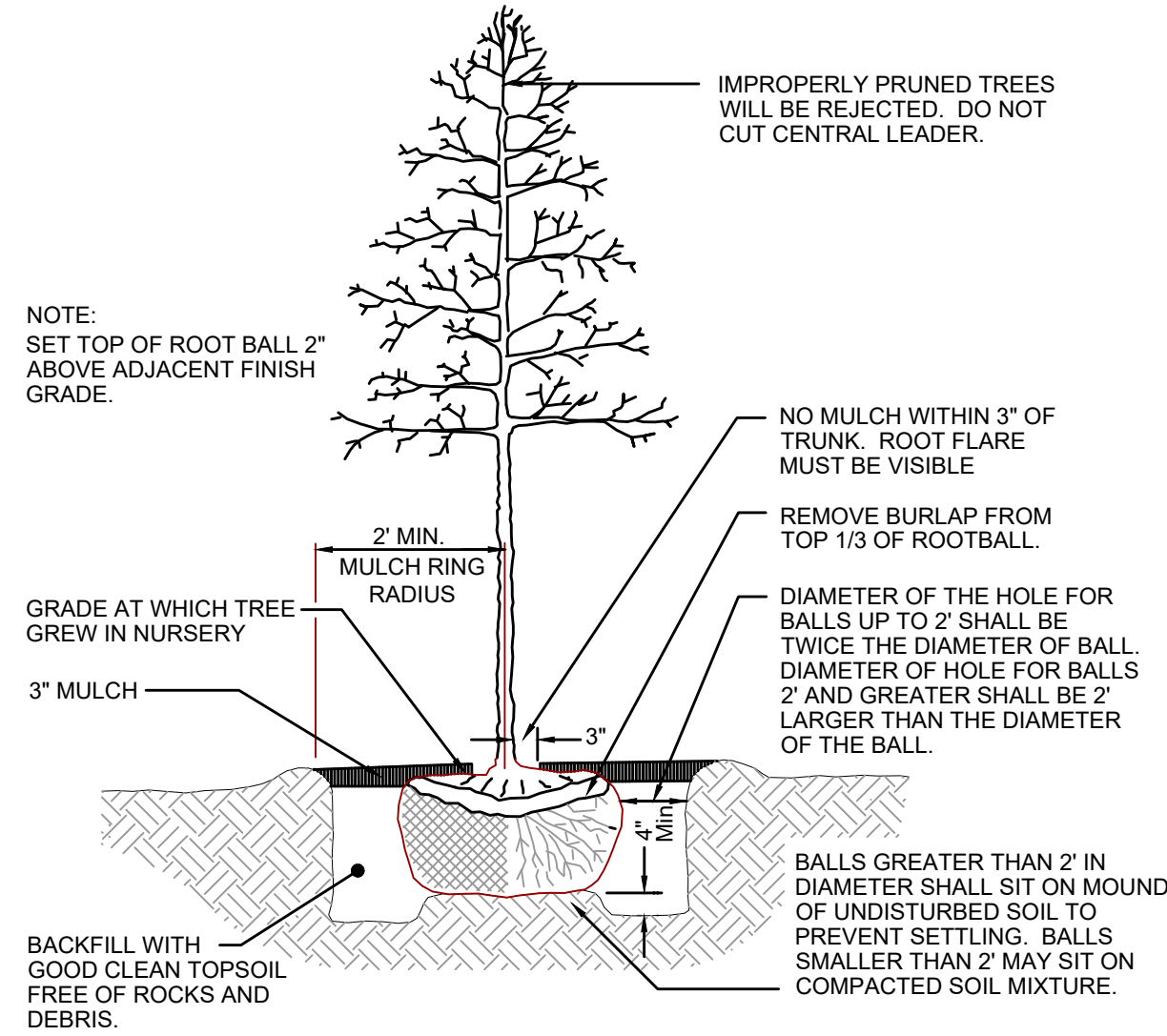
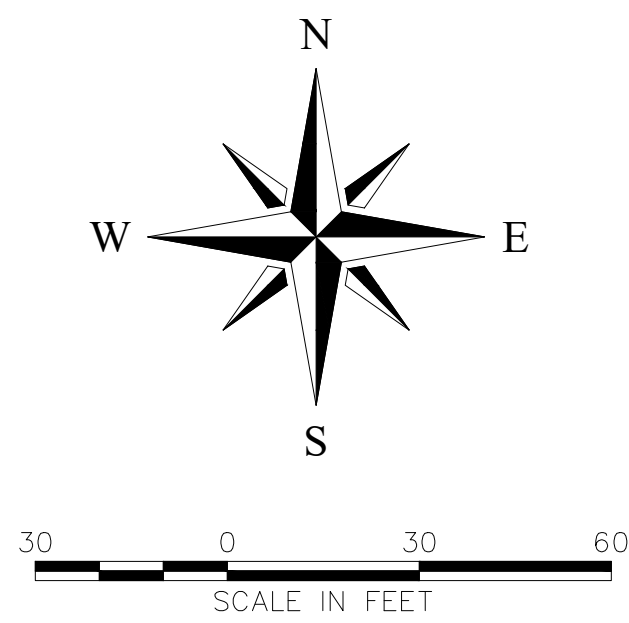
**MONTICELLO
CONDOS**
1537 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
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SEWER LINE DETAILS

SHEET NUMBER

C5.02



The site plan for Monticello Manor shows a development of four 6-unit condominium buildings, each labeled "6 PLEX CONDO" with a floor area of 507.50 or 508.00. The buildings are arranged around a central parking area with various stall dimensions (e.g., 6' x 10', 8' x 10', 10' x 10'). The site is bounded by Monticello Ave. (50' R.O.W.) to the west and a Charter Right-of-Way of Railroad to the east. Landscaping includes a 25' buffer yard with canopy trees, under-story trees, and shrubs. Easements for a 20' sanitary sewer and a 36" concrete culvert are shown. Topographic data points are provided for the site boundaries and easements.

Topographic Data:

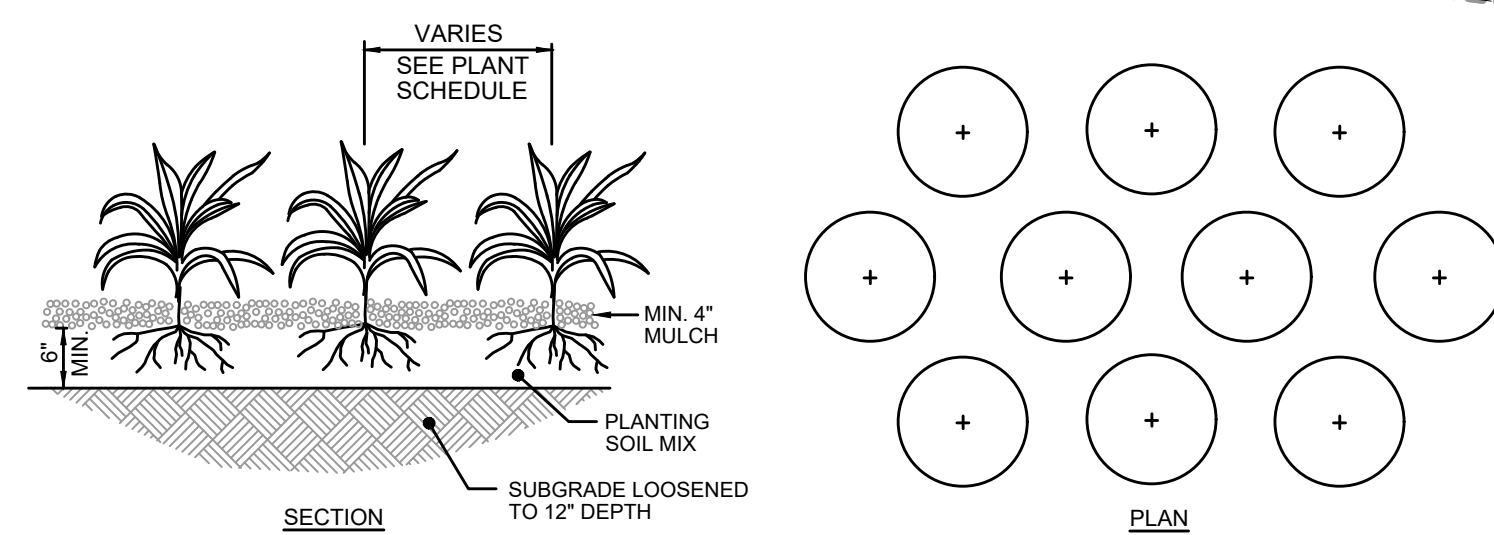
- TOP TOP TRUST: 1539 MONTICELLO AVE, 34 05 64.00, ZONED: R15; A
- TOC 512.98', INV IN 508.45', INV OUT 508.20'
- TOC 499.12', INV IN 494.07', INV OUT 493.91'
- TOC 496.10', INV IN 491.72', INV OUT 491.45'
- N 82°31'41" E 638.78'
- N 82°48'39" W 629.03'
- S 82°18'04" W 274.00'

Easements and Buffers:

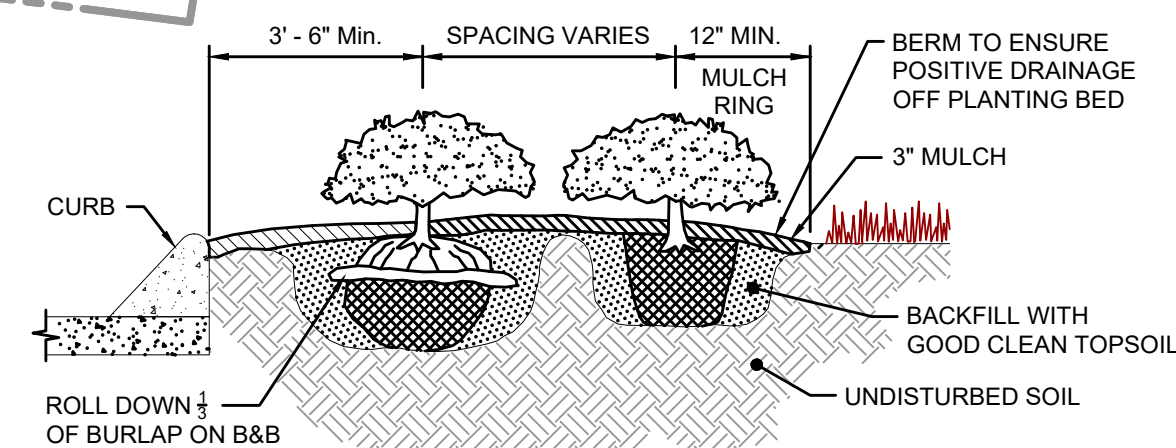
- EXISTING 20' SANITARY SEWER EASEMENT
- 25' M.S.B.L. (Monticello Subdivision Boundary Line)
- 35' M.S.B.L.
- 50' M.S.B.L.
- 36" CONCRETE CULVERT

Other Features:

- 4 PLEX CONDO FFE 507.50
- 6 PLEX CONDO FFE 507.50
- 6 PLEX CONDO FFE 507.50
- 6 PLEX CONDO FFE 508.00
- 6 PLEX CONDO FFE 508.00
- 25' BUFFER YARD (6) CANOPY TREES, (4) UNDER STORY TREES, (20) SHRUBS PER 100 LINEAR FOOT
- CHARTER RIGHT-OF-WAY OF RAILROAD
- VARIES



GROUND COVER / PERENNIAL PLANTING
NOT TO SCALE



SHRUB / GROUND COVER PLANTING
NOT TO SCALE

1. WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMIT OF GRADING.
2. THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE "A" QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1; LATEST EDITION, FOR SIZE AND QUALITY.
4. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA LANDSCAPE DESIGN (615) 489-1222.
5. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
6. ALL AREAS DISTURBED BY UTILITY TRENCHING, SITE AND BUILDING CONSTRUCTION SHALL BE STABILIZED WITH SEEDING AND SOODING AS SHOWN BY THE PLAN.
7. SOIL USED FOR PLANTING SHALL CONSIST OF (5) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
 - A. SAND SHALL BE CLEAN MASONRY SAND.
 - B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
 - C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOO AREAS PRIOR TO INSTALLATION. TREFLAN OR AN APPROVED EQUAL SHALL BE USED.
9. ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD.
10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
11. PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
12. THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.

13. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
14. ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING AND SEEDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
15. THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SEED OR SOD AREAS PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
17. SODDED AREAS SHALL HAVE NO BARE AREAS. SEEDDED AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURF GRASS SPECIES IS ESTABLISHED.
18. CUT AWAY ROPES OR WIRES FROM BAG PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
19. IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
20. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
21. ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
22. ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
23. REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.
PLANTING DATES
FALL: MARCH 15 – APRIL 15
FALL: OCTOBER 1 – NOVEMBER 30
24. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
25. YARD HYDRANTS AND HOSE BIBS WILL BE THE PRIMARY SOURCE OF WATER FOR NEW LANDSCAPING.

[illegible]

NOT FOR
CONSTRUCTION

**MONTICELLO
CONDOS**
1537 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720

LANDSCAPING PLAN

SHEET NUMBER

L1.00

REVISIONS

NOT FOR
CONSTRUCTION

**MONTICELLO
CONDOS**
1537 MONTICELLO AVE
GOODLETTSVILLE, TENNESSEE
DAVIDSON COUNTY

DRAWN BY:	KES
CHECKED BY:	JML
PROJECT NO.:	C01720

LANDSCAPING PLAN

SHEET NUMBER

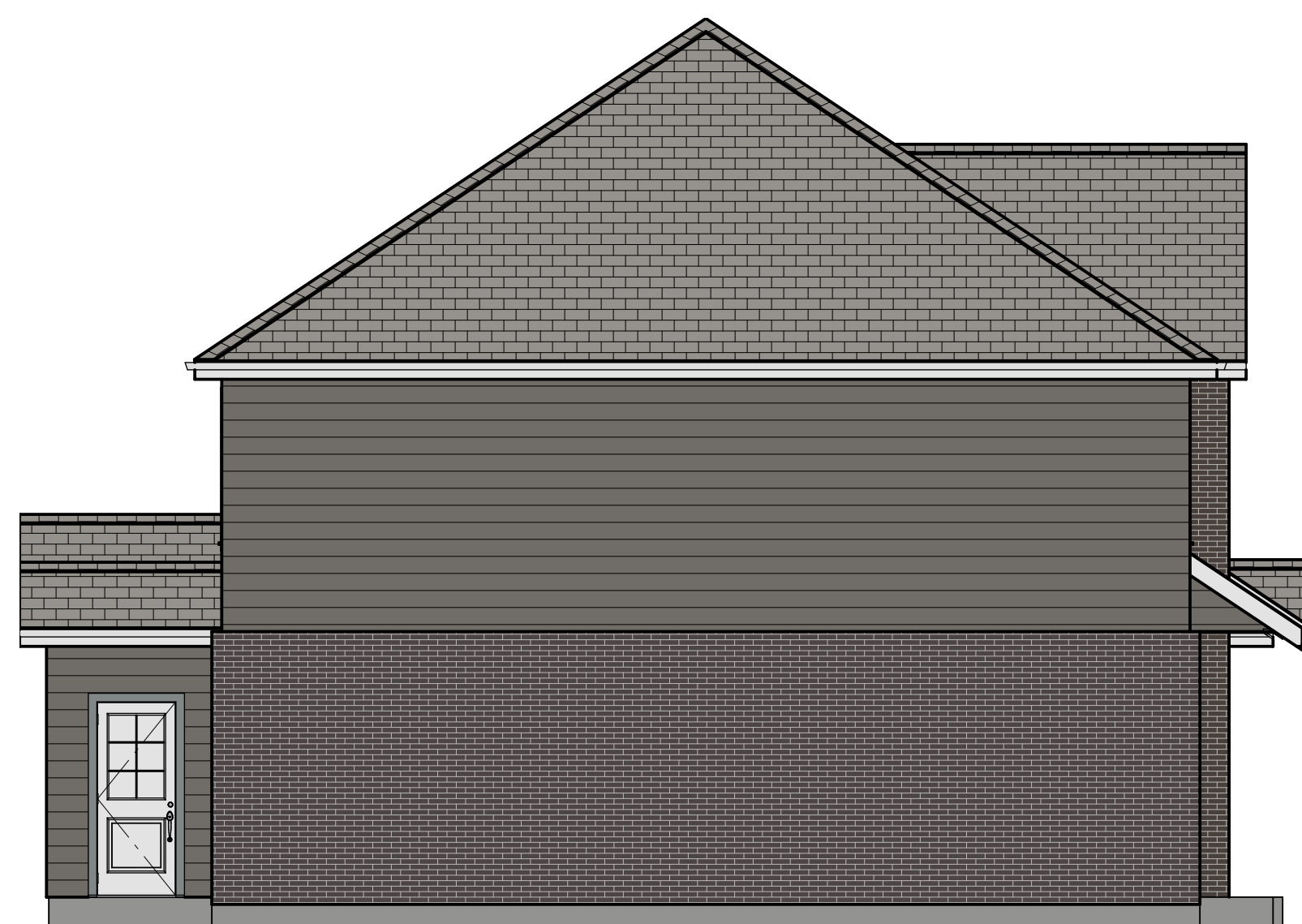
L1.00



FRONT ELEVATION
SCALE: 1/4"=1'



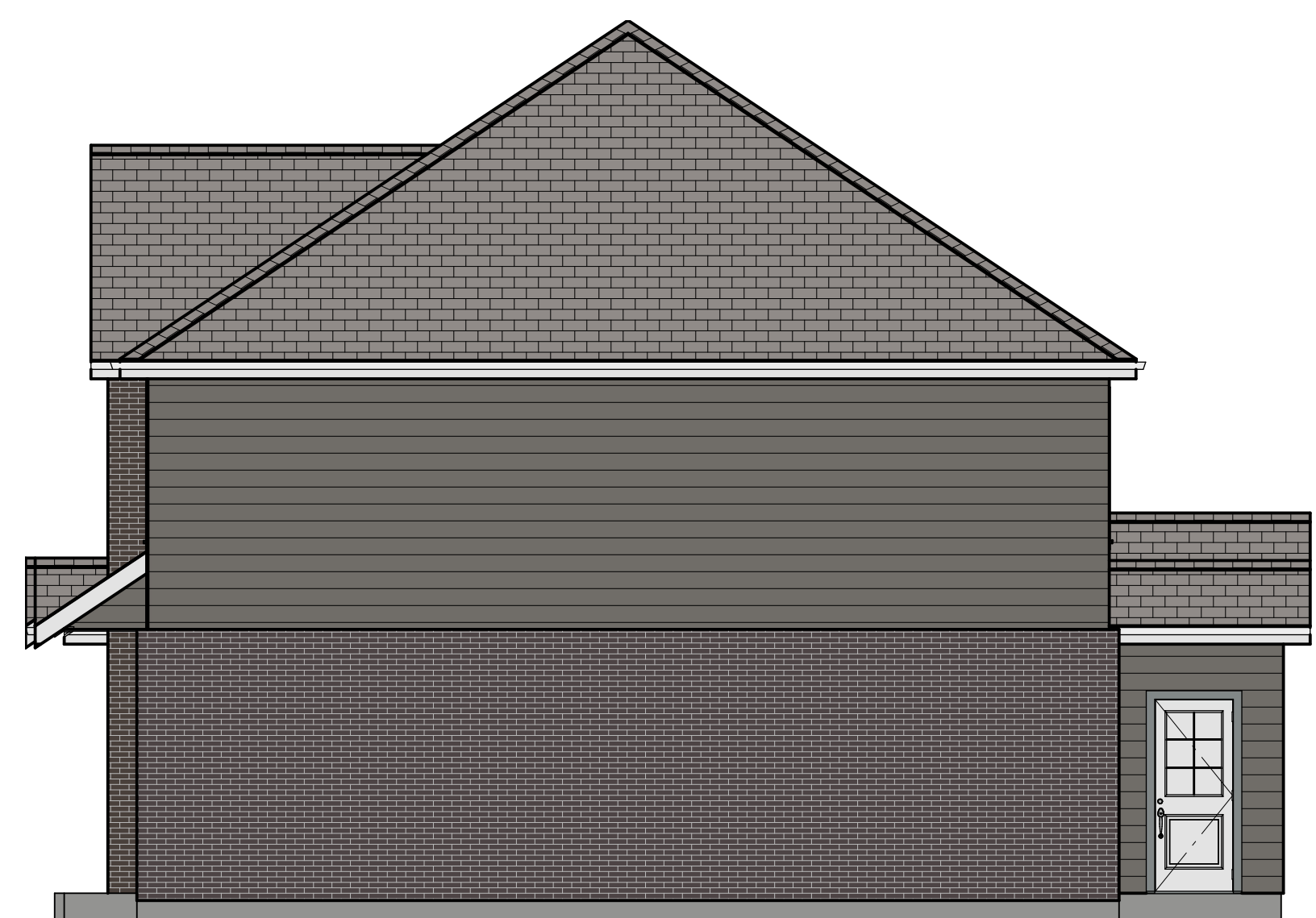
REAR ELEVATION
SCALE: 3/16"=1'



LEFT ELEVATION
SCALE: 1/8"=1'

NOTE:

*ALL SIDING SHOWN SHALL
BE CEMENT FIBER BOARD



RIGHT ELEVATION
SCALE:1/8"=1'

NETTHERFIELD DESIGNS

ARCHITECTURAL DRAFTING SERVICES

[illegible]

MONTICELLO
TOWHOMES
MONTICELLO DRIVE

GOODLETTSVILLE, TENNESSEE

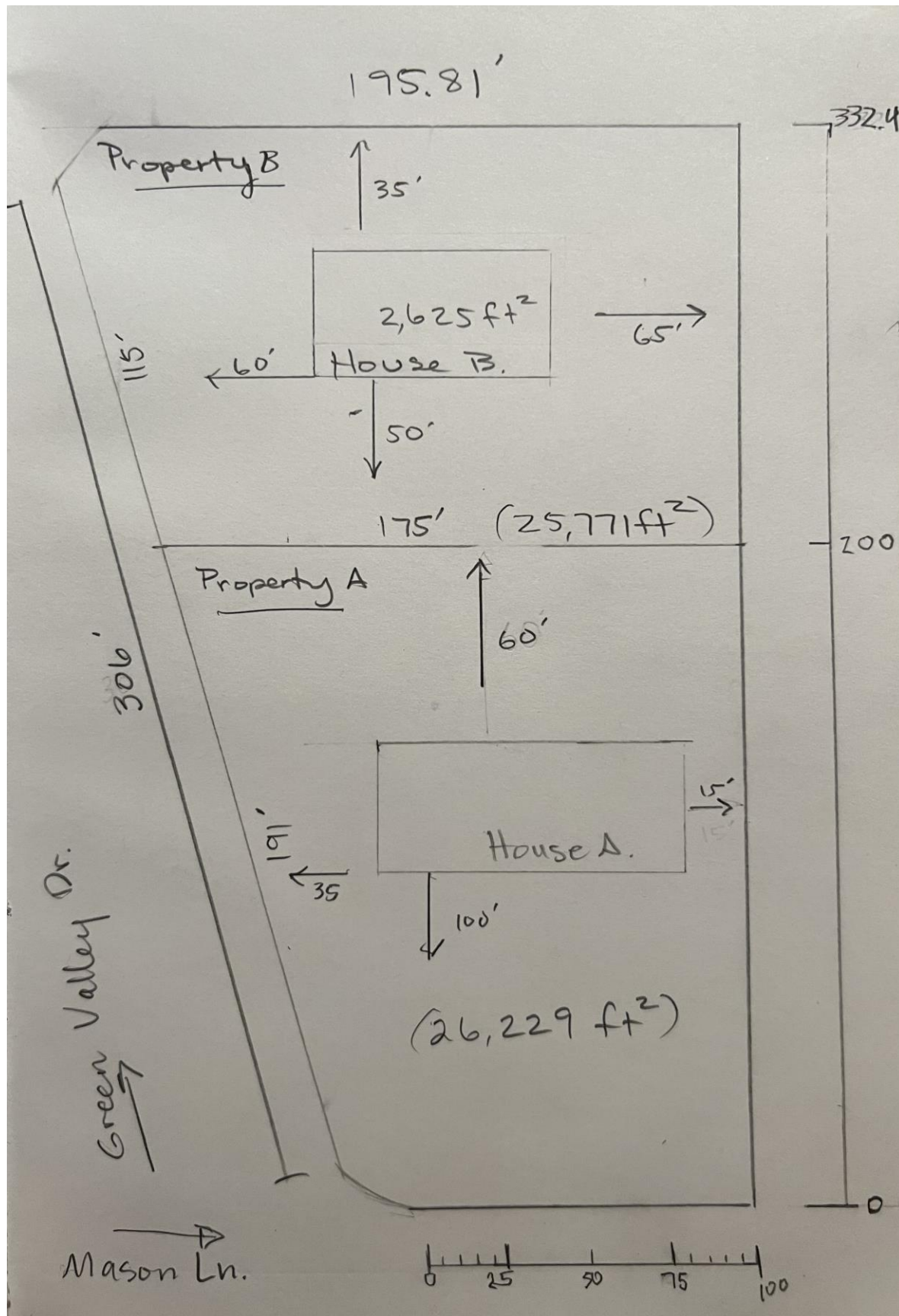
REPRODUCTION OF THESE DRAWINGS OR ANY PART THEREOF IS PROHIBITED WITHOUT WRITTEN APPROVAL OF THESE DRAWINGS ORIGINATOR. THESE DRAWINGS ARE FINISHED BY U.S. COPYRIGHT LAWS AND VIOLATIONS ARE SUBJECT TO LEGAL PROSECUTION.

DRAWN BY:	CJN
CHECKED BY:	CJN
DATE:	5/2/22
PROJECT NO.:	A00822
SCALE:	AS SHOWN

ELEVATIONS

SHEET NUMBER

NUMBER A1.0





Cur. Data

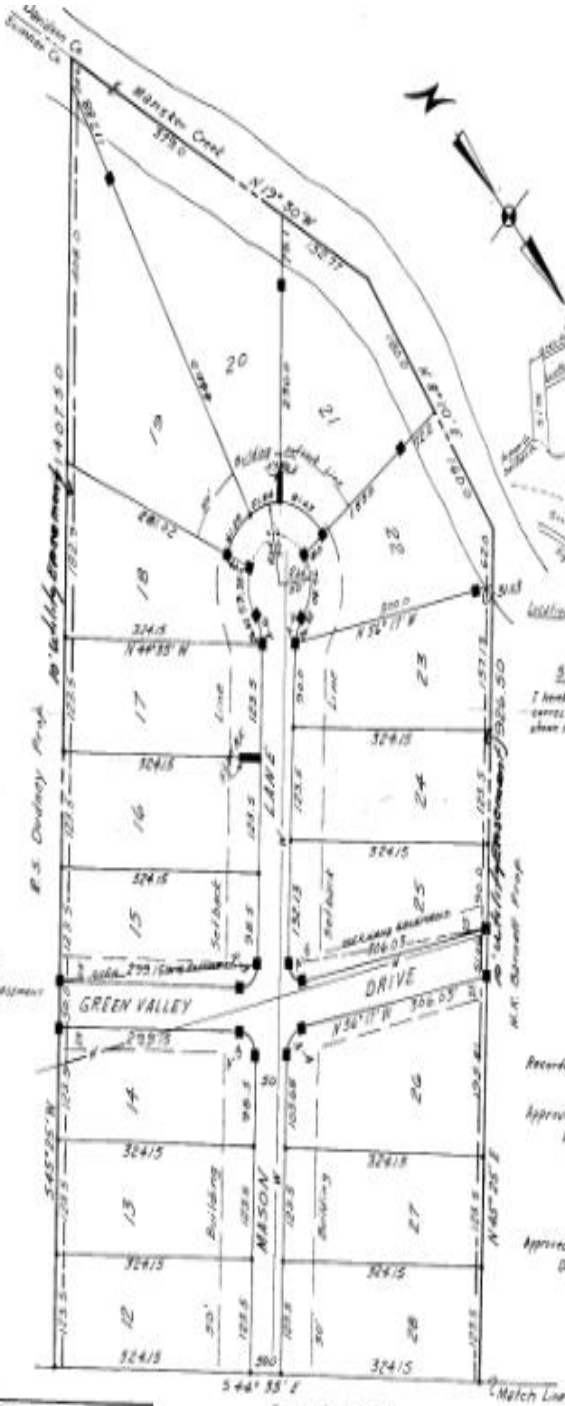
Lot	Area	Per	Acres
1-2	80	25	2.00
3-4	80	25	2.00
5-6	80	25	2.00
7-8	80	25	2.00
9-10	80	25	2.00
11-12	80	25	2.00
13-14	80	25	2.00
15-16	80	25	2.00
17-18	80	25	2.00
19-20	80	25	2.00
21-22	80	25	2.00
23-24	80	25	2.00
25-26	80	25	2.00
27-28	80	25	2.00
29-30	80	25	2.00
31-32	80	25	2.00
33-34	80	25	2.00
35-36	80	25	2.00
37-38	80	25	2.00
39	80	25	2.00

PLAN OF BARNETT ROLLING ACRES
SECTION ONE

SUBDIVISION
CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE
N.E. BROWN
Neal and H.G. Hutson
W.S. Cooper Sr.

Acres: 44.33
Restricted: 26.70

SCALE: 1 inch = 100'



OWNER CERTIFICATE

I hereby certify that we are the owners and adopt the plan of subdivision of the property as shown herein and dedicate all public roads and easements as noted. If at any time we or our heirs or assigns hereon shall again be subdivided, subdivided, altered or changed in any manner, we shall produce this plan and certify that the same is correct and true. If we fail to do so, we shall be liable to the extent of the restriction contained in this plan to the property.

Date: 4-12-1966
Neal and H.G. Hutson
Neal and H.G. Hutson

SURVEYOR CERTIFICATE

I hereby certify that the plat shown is correct and that approved concrete markers have been placed.

Name: Charles W. Brown
Surveyor

11:30 A
Plat

Subdivision No. _____
RECORD _____
Recorded _____ Book _____ Page _____

Approved: Sumner Co. Highway Comm. _____
Date: _____
County Road Engineer

Approved: Sumner Co. Health Commission _____
Date: 7-18-66
Henry L. McKinnon
Health Commissioner

APPROVED BY:

SUMNER COUNTY PLANNING COMMISSION

SUMNER COUNTY, TENNESSEE

FILED FOR RECORD THE _____ DAY
OF _____ 1966

RECORDS CLERK: _____

**City of Goodlettsville Municipal Planning Commission
2023 Meeting and Plan Submittal/Review Schedule**

Planning Commission Meeting at 5pm	Applicant Initial Submittal due by 4 PM	Staff Comments Due to Applicant	Applicant Revised Submittal due by 4 PM
1/9/2023*	11/28/2022	12/8/2022	12/22/2022
2/6/2023	1/3/2023*	1/12/2023	1/26/2023
3/6/2023	1/30/2023	2/9/2023	2/23/2023
4/3/2023	2/27/2023	3/9/2023	3/23/2023
5/1/2023	3/27/2023	4/6/2023	4/20/2023
6/5/2023	5/1/2023	5/11/2023	5/25/2023
7/3/2023	5/29/2023	6/8/2023	6/22/2023
8/7/2023	7/3/2023	7/13/2023	7/27/2023
9/11/2023*	8/7/2023	8/17/2023	8/31/2023
10/2/2023	8/28/2023	9/7/2023	9/21/2023
11/6/2023	10/2/2023	10/12/2023	10/26/2023
12/4/2023	10/30/2023	11/9/2023	11/27/2023
1/8/2024*	12/4/2023	12/14/2023	12/28/2023

****Dates altered due to Holidays and Special Events***

Community Development Services Staff may alter dates for submittals which do not require plan review, previous deferred actions, or due to other special circumstances

Initial Plan Submittal: Application with one (1) full size plan copy and 1 digital (pdf) copy including any reports and calculations. **Plan review fee to be paid with initial plan submittal- \$ 1,600 including engineering consultant review and \$ 600 not requiring engineering consultant review.** **Application and digital plan submittal on-line**
<https://goodlettsville-tn.govbuilt.com/>

Revised Plan Submittal: One (1) full size plan copy and eight (8) half size or 11" x 17" sheets with digital (pdf) copy including plan review comment response letter and any revised reports and support calculations with one (1) digital (pdf) copy. Additional items may be required and will be listed in staff review comments.