

CITY OF GOODLETTSVILLE PLANNING COMMISSION

MEETING AGENDA

Monday August 7, 2023 5:00 PM

Call Meeting to Order and Member Roll Call

ITEM#1 Approval of August 7, 2023 Meeting Agenda

ITEM#2 Approval of July 10, 2023 Meeting Minutes

ITEM#3 Public Forum on Planning Related Topics

ITEM#4 Dry Creek Cottages/Dry Creek Acquisitions: Requests performance bond extension

ITEM#5 Kiddie Academy/Goodwyn Mills Cawood, LLC: Requests site plan approval for a 9,516 square feet day care center on Business Park Circle on a 1.1 acre portion of Sumner County Tax Map/Parcel#143J F01000. Property is zoned GOPUD, General Office Planned Unit Development. Property Owner: Northcreek LLC Philips Commercial (#5-23)

GOODLETTSVILLE CITY HALL MASSIE CHAMBERS

A government committed to operating with efficiency and integrity in all we do as we strive to enhance the quality of life for the community we serve.

105 S. Main Street – Goodlettsville, TN 37072 – 615-851-2202

CITY OF GOODLETTSVILLE PLANNING COMMISSION

MEETING AGENDA

Monday August 7, 2023 5:00 PM

Call Meeting to Order and Member Roll Call

ITEM#1 Approval of August 7, 2023 Meeting Agenda

ITEM#2 Approval of July 10, 2023 Meeting Minutes

ITEM#3 Public Forum on Planning Related Topics. Citizens may address the Planning Commission and limit comments to three (3) minutes in length.

ITEM#4 Dry Creek Cottages/Dry Creek Acquisitions: Requests performance bond extension

ITEM#5 Kiddie Academy/Goodwyn Mills Cawood, LLC: Requests site plan approval for a 9,516 square feet day care center on Business Park Circle on a 1.1 acre portion of Sumner County Tax Map/Parcel#143J F01000. Property is zoned GOPUD, General Office Planned Unit Development. Property Owner: Northcreek LLC Philips Commercial (#5-23)

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CITY OF GOODLETTSVILLE PLANNING COMMISSION

MEETING AGENDA REPORT

Monday August 7, 2023 5:00 PM

ITEM#1 Approval of August 7, 2023 Agenda

STAFF NOTES: N/A

MOTION OPTIONS:

1. Approve as listed
2. Approve with agenda amendments as determined by the Planning Commission

ITEM#2 Approval of July 10, 2023 Meeting Minutes

STAFF NOTES: N/A

MOTION OPTIONS:

1. Approve as listed
2. Approve with minute amendments as determined by the Planning Commission

ITEM#3 Public Forum on Planning Related Topics

STAFF NOTES: N/A

MOTION OPTIONS: N/A

ITEM#4 Dry Creek Cottages/Dry Creek Acquisitions: Requests performance bond extension

STAFF NOTES

The current \$ 218,000 performance bond expires August 23, 2023. The project ownership has changed from Dry Creek Acquisitions LLC to Meridian Capital Group, LLC.

The project construction has lapsed. The remaining project improvements include utilities, private drive and parking, sidewalks, retaining wall, storm water, landscaping, and lighting. The recorded project master deed includes fourteen (14) detached one family condo style lots. Based on reported construction cost increases ranging from two (2%) to four (4%) percent, staff recommends any approved bond extension be increased by three (3%) percent to \$ 225, 500 for the 2023-2024 bond period.

Motion Options:

1. Approval for one-year bond extension and bond amount increase to \$ 225,500-three (3%) percent increase
2. Approval for one-year bond extension at current amount of \$ 218,000

3. Approval for one-year bond extension at amount determined by Planning Commission based on information provided during meeting
4. Denial of one-year bond extension to direct staff to request payment on bond to prioritize and complete the remaining project improvements

ITEM#5 Kiddie Academy/Goodwyn Mills Cawood, LLC: Requests site plan approval for a 9,516 square foot day care center on Business Park Circle on a 1.1 acre portion of Sumner County Tax Map/Parcel#143J F01000. Property is zoned GOPUD, General Office Planned Unit Development. Property Owner: Northcreek LLC Philips Commercial (#5-23)

STAFF NOTES:

The Planning Commission at the June 5, 2023 meeting approved the parking count requirement for the site development. The City's Engineer Consultant is currently reviewing the revised plan submittal for any additional comments. The project design includes a storm water quality facility similar to other recent projects in the Business Park Circle area. The Business Park Circle area developments do not include storm water quantity facilities due to the location of the area being within a flood basin.

The proposal includes a Design Guidelines variance request (see defined requested below) from the minimum fifty (50%) percent masonry construction (brick and/or stone) requirement. The proposal includes multiple materials permitted by the Design Guidelines including brick, EIFS/stucco type, and cement fiber board siding (Faux Wood). The proposed brick percentages on the walls range from twenty-six (26%) to thirty-six (36%) percent.

Project Site Plan Stipulations:

1. Dumpster screen design due to the proposed location on the property to include masonry construction similar to the building design. Revised design to be reviewed and approved by staff prior to building permit issuance.
2. City's Engineer Consultant confirm and approve plan review comments prior to issuance of City's Land Disturbance Permit
3. If the requested Design Variance is not approved, provide revised building elevations including additional brick or stone masonry materials to meet the fifty (50%) percent material requirement. Revised design to be reviewed and approved by staff prior to building permit issuance.

MOTION OPTIONS:

1. Approve site plan with the staff stipulations listed above based on the site plan with the defined stipulations meeting the City's requirements.
2. Deferral to include any additional requirements or information as determined by Planning Commission

Applicant's Design Guideline Variance Request:

City Design Guidelines require 50% brick and or/stone on elevations, limit decorative metal panels to 15%. Provide color elevations. Submittal as shown will be reviewed as material design variance.

Metal coping, paneling, and awnings are included in the 'Trim/Other' category in the provided material calculations (see SD-2.1 and SD-2.2), which constitutes less than 15% of each façade. We are requesting approval of the exterior materials as proposed, with less than 50% of the exterior clad in masonry. It is our opinion that the proposed building design is compliant with the objective of the Design Guidelines Criteria in providing visual interest and diversity in materials and façade elements, despite not meeting the desired proportion of masonry materials.

OFFICIAL MINUTES OF THE MEETING

GOODLETTSVILLE PLANNING AND ZONING COMMISSION

July 10, 2023

Goodlettsville City Hall

5:00 p.m.

Massie Chambers-Auditorium

Present: Chairman Tony Espinosa, Jeff Duncan, Grady McNeal, Jeff Parnell, Mayor Rusty Tinnin, Scott Trew, and Judy Wheeler.

Absent: N/A

Also Present: Addam McCormick (Staff), Tim Ellis-City Manager, Russell Freeman-City Attorney, Sharon Reed (Staff) and Alex West (Staff).

Scott Trew called the meeting to order and offered prayer.

Item #1 Approval of Agenda: Duncan made a motion to approve the agenda, Parnell seconded the motion. The motion passed.

Item #2 Approval of June 5, 2023 Meeting Minutes: Duncan made a motion to approve the minutes of the June 5, 2023 meeting, Parnell seconded the motion. The motion passed.

Item #3 Espinosa opened the Public Forum on Planning Related Topics.

No one requested to speak at the meeting.

McNeal made a motion to close the public forum, seconded by Tinnin. The motion passed.

The Public Forum was closed.

AGENDA

Item #4 Accessory Building Material Design Variance/Bethany Douglas, Property Owner: Requests design variance for a 576 square feet accessory building at 307 Hitt Lane. The proposed accessory building is replacing a storm damaged accessory building. Property referenced as Davidson County Tax Map/Parcel#01808002300. Property is zoned R15, Medium Density Residential

Item Representative: Bethany Douglas, Property Owner

Staff Discussion:

- The City received a permit request for the proposed 576 square feet accessory building.
- The proposed building exceeds the 504 square feet threshold ordinance section that permits accessory detached buildings not to match the primary building/house materials.
- Staff discussed with the applicant the ability to reduce the proposed square footage to less than 504 square feet or rebuild the damaged building consistent with the existing materials including painted concrete block walls and an asphalt shingle roof.
- The applicant requested a design variance to permit the proposed 576 square feet accessory building including metal wall and roof materials.
- Staff's decision on alternative designs may be appealed to the Planning Commission for review.
- Motion Option – Approve building design variance with any requirements or information as determined by Planning Commission.

- Motion Option - Deferral to include any additional requirements or information as determined by Planning Commission.
- Motion Option - Deny accessory building design variance.

Planning Commission Discussion:

- Douglas explained she has contracted with the Barn Store to replace the building and expand it to be a full two (2) car garage size.
- Douglas explained her plans for updating the exterior of the house and will match the new garage.
- Espinosa discussed the recent Zoning Ordinance accessory building change in meeting the primary building material and square footage requirement.
- Duncan discussed "Grandfathering" this project as long as it meets the design criteria.
- McCormick responded the square footage is not an issue just the building materials.
- Douglas discussed the rebuild will be a metal building and not concrete block-former damaged building.
- Duncan asked if it was going to be a metal siding or masonite board?
- Douglas responded they have it listed as metal with insulation.
- Trew discussed the exterior color of the house and matching the garage exterior with the house.
- Douglas discussed color matching of the house and garage starting with proposed garage and follow-up with house alterations and remodel.
- Wheeler asked how far along are they in the color coordinating process?
- Douglas responded they have to get the garage approved before moving forward.
- Trew asked Douglas if her neighbors have out buildings?
- Douglas responded yes, on one side small metal sheds and the other side a carport.
- Tinnin commented he thinks it will enhance the property and does not have a problem with the project.
- Parnell asked for clarification of the variance request, for square footage or materials?
- McCormick responded materials and the request is based on replacement of the recent former storm damaged building and current materials.

Motion: Motion by Tinnin to approve the request, seconded by Trew. The motion passed unanimously.

Item #5 Industrial Building Design Guidelines Alternative Material/ Jeremy Todd, United Machine and Tool: Requests approval for an 1,800 square feet membrane structure addition at 215 Connell Street. Property referenced as Davidson County Tax Map/Parcel# 01913008200. Property is zoned IG, Industrial General. Property Owner: WT Enterprises

Item Representative: No Representation

Motion: Motion by Duncan to defer the request, seconded by Parnell. The motion passed unanimously.

With no further business, the meeting adjourned at 5:19 pm.

Tony Espinosa, Chairman

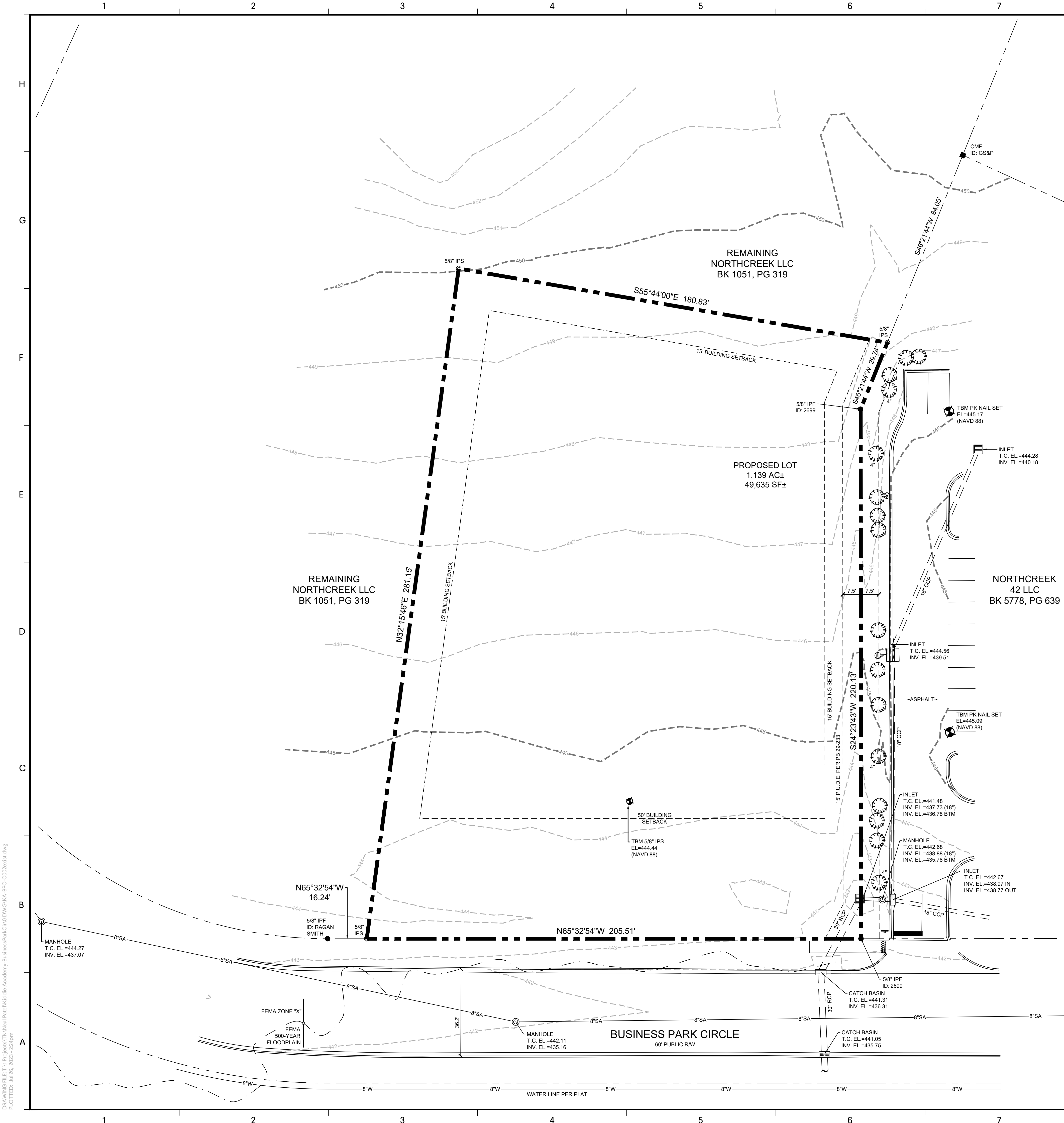
Sharon Reed, Planning Assistant



	ISSUE	DATE
	P.C. SUBMITTAL	06/30/2023
	P.C. RESUBMITTAL	07/26/2023
	DRAWN BY:	L. SMITH
	CHECKED BY:	M. WEISZ

G-001

DRAWING FILE: T:\Projects\TN\Kiddie Academy\BusinessPark\CA-0 DWG\CA-8PC-C002\ca8.dwg
PLOTTED: JUL 26, 2023 - 2:24pm



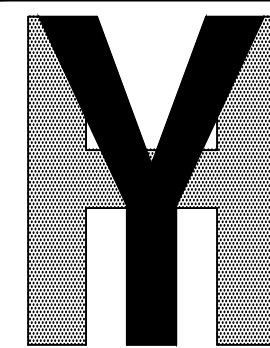
Know what's below.
Call before you dig.



20 0 10 20 40
GRAPHIC SCALE - 1 INCH = 20 FEET
TN STATE PLANE (NAD 83, NAVD 88)

NOTE:

REF. C-001 FOR ADDITIONAL NOTES.



YOUNG - HOBBS AND ASSOCIATES

1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
PHONE 931-645-2524
FAX 931-645-2768
dave@younghobbs.com

OWNER INFORMATION

NORTHCREEK LLC
BK 1051, PG 319
TAX MAP 143J-F PART OF PARCEL
10.00

GOODLETTSVILLE
SUMNER COUNTY, TENNESSEE

YOUNG - HOBBS AND ASSOCIATES

1202 CROSSLAND AVENUE
CLARKSVILLE, TENNESSEE 37040
(931) 645-2524 FAX: (931) 645-2768
E-MAIL: dave@younghobbs.com

EXISTING LEGEND

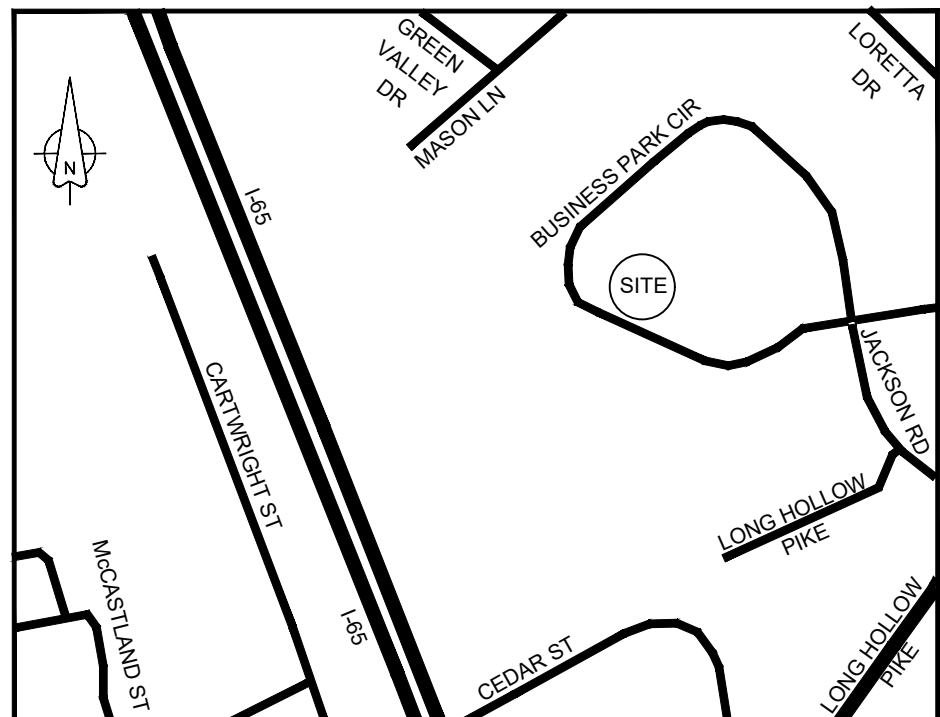
- IRON PIN FOUND, AS NOTED
- CONCRETE MONUMENT FOUND (CMF)
- IRON PIN SET (IPS)
- BENCHMARK, AS NOTED
- SIGN, AS NOTED
- SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- IRRIGATION VALVE
- CURB INLET
- GRATE INLET
- STORM MANHOLE
- LIGHT POLE
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINES
- SANITARY SEWER, AS NOTED
- STORM SEWER PIPE, AS NOTED
- WATER LINE, AS NOTED

BOUNDARY NOTE:

THE PROPOSED LOT SHOWN HEREON IS NOT A LOT OF RECORD AND IS SUBJECT TO THE RECORDING OF A SUBDIVISION PLAT.

THE BUILDING SETBACKS SHOWN HEREON ARE BASED ON CURRENT ZONING INFORMATION AND ARE SUBJECT TO THE RECORDING OF A SUBDIVISION PLAT.

LOCATION MAP - NTS:



EXISTING CONDITIONS NOTES:

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAGS AND PAINT PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (TN ONE CALL SYSTEM, INC. 1-800-351-111 OR 811).

NO PRIVATE UTILITY LOCATE WAS PERFORMED ON THIS SITE AT THE TIME OF THIS SURVEY.

CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES, FOR EASEMENT WIDTH AND RESTRICTIONS. UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HEREON, NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

LIST OF ENCROACHMENTS: NONE.

NO BUILDING LOCATION ON SITE AT TIME OF SURVEY.

A TITLE REPORT WAS PROVIDED TO THE SURVEYOR.

THE PROPERTY DESCRIBED IN THE TITLE COMMITMENT IS THE SAME PROPERTY AS DEPICTED ON THE SURVEY, AND THERE ARE NO GAPS OR GORES OR OVERLAPS OR STRIPS BETWEEN THE SUBJECT PROPERTY AND ADJOINERS.

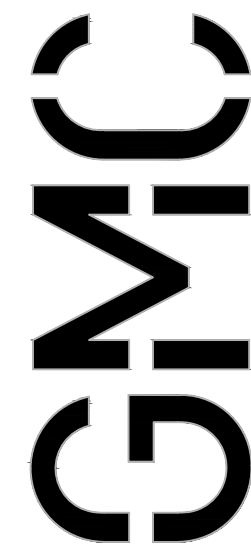
I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE RECORDED INFORMATION SHOWN, AND THAT THIS SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED TRAVERSE IS BETTER THAN 1:10,000 AS SHOWN HEREON.

THERE WAS NO EVIDENCE OF THIS PROPERTY BEING USED AS A LANDFILL.

THERE WAS NO EVIDENCE OF THIS PROPERTY BEING USED AS A CEMETERY.

TABLE A NOTES:

- ITEM 2: AS PER DAVIDSON COUNTY TAX RECORDS.
- ITEM 3: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 47165C0379H WITH AN MAP REVISED DATE OF FEBRUARY 26 2021, IN THE CITY OF GOODLETTSVILLE, STATE OF TENNESSEE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- ITEM 5: CONTOURS WERE DERIVED FROM RANDOM SHOTS AND CROSS SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN OPUS SOLUTION, DATED 04/14/2023 (NAVD8, GEOID12B).
- ITEM 6A: NO ZONING REPORT PROVIDED.
- ITEM 16: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- ITEM 17: THERE WAS NO EVIDENCE OF RECENT CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO EVIDENCE OF RECENT OR STREET SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.



3310 West End Avenue, Suite 420

Nashville, TN 37203

T 615.333.7200

GMCNETWORK.COM

KIDDIE ACADEMY

BUSINESS PARK CIRCLE

GOODLETTSVILLE, TN 37072



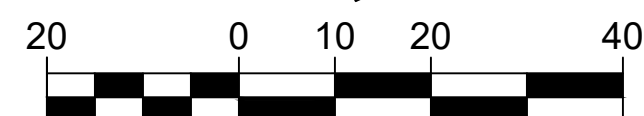
EXISTING
CONDITIONS

C-002

GMC PROJECT #CNAS230004



Page 11 of 30



GRAPHIC SCALE - 1 INCH = 20 FEET
TN STATE PLANE (NAD 83, NAVD 88)

NOTE:

REF. C-001 FOR ADDITIONAL NOTES.

STREET REPAIR NOTE:

OWNER/CONTRACTOR TO CONTACT CITY
OF GOODLETTSVILLE PUBLIC WORKS
REGARDING BONDING AND STREET CUT
REPAIR SPECIFICATIONS.

BUILDING CORNER POINTS TABLE			
POINT NO.	P.I. COORDINATES		DESCRIPTION
	NORTHING (Y)	EASTING (X)	
BC #1	727,825.3154	1,761,315.8592	BUILDING CORNER
BC #2	727,765.7101	1,761,446.9439	BUILDING CORNER
BC #3	727,704.7193	1,761,419.2109	BUILDING CORNER

PAVING LEGEND

	HEAVY DUTY ASPHALT PAVEMENT SECTION
	LIGHT DUTY ASPHALT PAVEMENT SECTION
	CONCRETE DUMPSTER PAD PAVEMENT SECTION
	CONCRETE SIDEWALK PAVEMENT SECTION
	PLAYGROUND SECTION

SITE KEY NOTES:

- 1 EXISTING PAVEMENT TO REMAIN
- 2 EXISTING CONCRETE CURB & GUTTER TO REMAIN
- 3 EXISTING SIDEWALK TO REMAIN
- 4 HEAVY DUTY ASPHALT PAVEMENT SECTION (REF. C-902)
- 5 LIGHT DUTY ASPHALT PAVEMENT SECTION (REF. C-902)
- 6 HEAVY DUTY CONCRETE PAVEMENT SECTION (REF. C-907)
- 7 DUMPSTER PAD CONCRETE PAVEMENT SECTION (REF. C-907)
- 8 INSTALL TRASH ENCLOSURE & GATES (REF. C-904)
- 9 2' CHAMFER
- 10 INSTALL CONCRETE SIDEWALK SECTION (REF. C-902)
- 11 TIE PROPOSED CONCRETE SIDEWALK TO EXISTING SIDEWALK
- 12 INSTALL 30" CONCRETE CURB & GUTTER (REF. STD. DWG. RP-1 ON C-907)
- 13 TIE PROPOSED 18" CONCRETE CURB & GUTTER TO EXISTING CURB & GUTTER
- 14 INSTALL 6" CONCRETE POST CURB (REF. C-902)
- 15 INTEGRAL CONCRETE CURB AND SIDEWALK (REF. C-902)
- 16 SAW CUT EXISTING PAVEMENT
- 17 INDICATES NUMBER OF PARKING SPACES PER PARKING BAY
- 18 4" WIDE PAINTED SINGLE SOLID WHITE LINE
- 19 4" WIDE PAINTED WHITE STRIPES, 5.0' O.C. @ 45°
- 20 4" WIDE PAINTED SINGLE SOLID YELLOW LINE
- 21 WHITE PAINTED DIRECTIONAL ARROW (REF. C-902)
- 22 INSTALL WHEELSTOP (REF. C-902)
- 23 PAINTED WHITE INTERNATIONAL SYMBOL OF ACCESSIBILITY & PAINTED "VAN" WHERE STRIPED ACCESS AISLE IF 8'-0" OR GREATER (24" WHITE LETTERS) (REF. C-902)
- 24 INSTALL PARALLEL ADA RAMP (REF. C-902)
- 25 ACCESSIBLE RAMP WITH ARMOR TILE CAST-IN-PLACE DETECTABLE WARNING, COLOR TO BE "FEDERAL YELLOW", NO. 33538
- 26 INSTALL ACCESSIBLE PARKING SIGN (VAN ACCESSIBLE WHERE APPLICABLE) (REF. C-902)
- 27 24" PAINTED WHITE STOP BAR AND LETTERS "STOP" (REF. C-902)
- 28 INSTALL 12" CURB TAPER (REF. C-907)
- 29 INSTALL R1-1 STOP SIGN (REF. C-902)
- 30 TRANSFORMER PAD LOCATION
- 31 EXISTING FIRE HYDRANT TO REMAIN
- 32 SAW CUT AND REPLACE WITH LIKE MATERIALS (REF. STD. DWG. RD-3 ON C-907)
- 33 MONUMENT SIGN
- 34 INSTALL TURF SURFACING FOR PLAYGROUND AREA
- 35 PROPOSED SITE LIGHTING
- 36 PERIMETER FENCING (REF. C-902)
- 37 INSTALL CITY OF GOODLETTSVILLE TYPICAL 5' CONCRETE SIDEWALK (REF. STD. DWG. RP-4 ON C-907) (TYP. IN RIGHT-OF-WAY)
- 38 INSTALL DRIVEWAY (REF. C-907)

GNC

3310 West End Avenue, Suite 420
Nashville, TN 37203
T 615.333.7200
GMCNETWORK.COM

	ISSUE	DATE
P.C. SUBMITTAL		06/30/2023
P.C. RESUBMITTAL		07/26/2023
DRAWN BY:		L. SMITH
CHECKED BY:		M. WEISZ

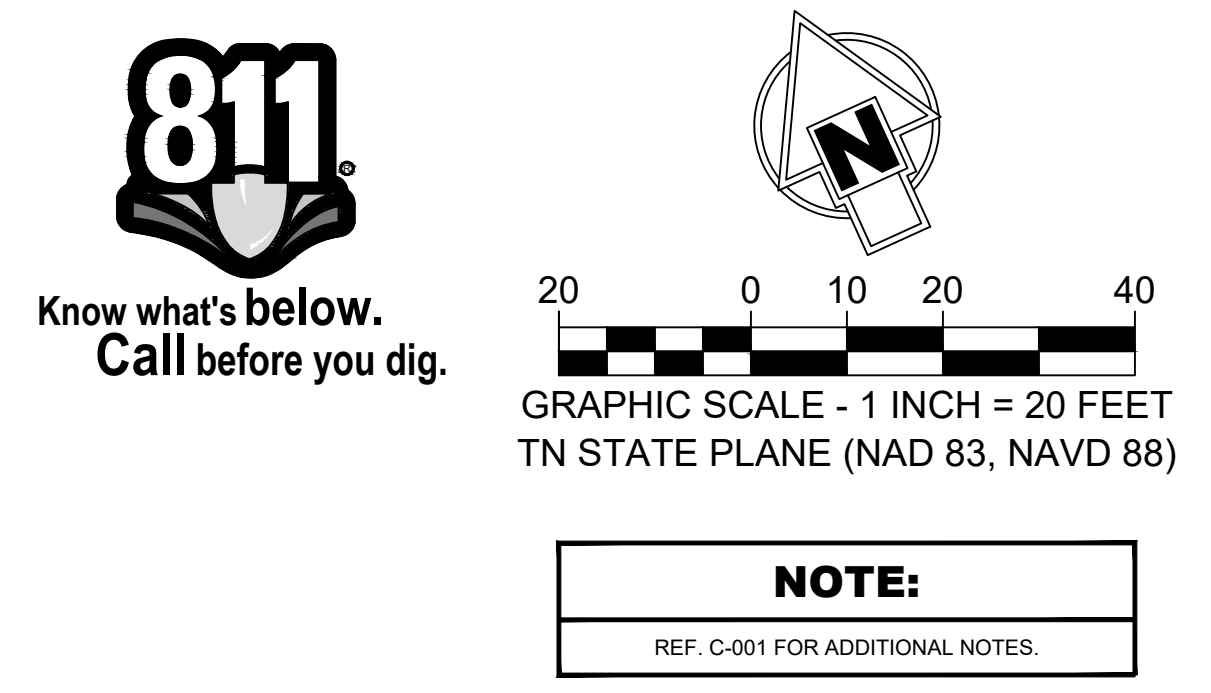
KIDDIE ACADEMY
BUSINESS PARK CIRCLE
GOODLETTSVILLE, TN 37072



GMC PROJECT #CNAS230004

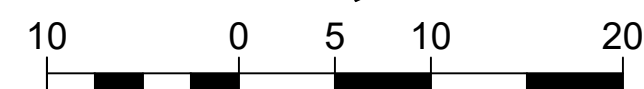
SITE PLAN

C-101



GMC PROJECT #CNAS230004





GRAPHIC SCALE - 1 INCH = 10 FEET
TN STATE PLANE (NAD 83, NAVD 88)

REF. C-001 FOR ADDITIONAL NOTES

—2" W	DOMESTIC WATER LINE
—1-1/2" IRR	IRRIGATION LINE
—8" F	FIRE LINE
—10" W	EXISTING WATER LINE
—6" SA	SDR 35 PVC SANITARY SEWER SERVICE
—SA	EXISTING SANITARY SEWER LINE
—UGE	PROPOSED UNDERGROUND ELECTRIC
—OH	EXISTING OVERHEAD LINES
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	GATE VALVE
	WATER METER
	BACKFLOW PREVENTER
	TEE
	ELBOW
	TRAFFIC BEARING (T.B.C.O.)
	SEWER CLEANOUT

PROJECT NAME: KIDDIE ACADEMY		TOTAL # OF LOTS: 1 TOTAL LINEAR FOOTAGE OF PIPE: 188
WHUD JOB #:		
PAGE TOTAL OF LINEAR FOOTAGE OF PIPE: 0		
DEVELOPER'S NAME: NEAL PATEL		
ADDRESS: 1014 EMERY BAY CIRCLE		
CITY: HENDERSONVILLE	STATE: TN	ZIP CODE: 37075
PHONE #: 423-243-7853		FAX #:
ENGINEER'S NAME: GOODWYN MILLS CAWOOD, LLC		
ADDRESS: 3310 WEST END AVE, SUITE 400		
CITY: NASHVILLE	STATE: TN	ZIP CODE: 37203
PHONE #: 615-333-7200		FAX #: 615-333-0529

1. THE CONTRACTOR SHALL NOT PROCEED WITH ANY UTILITY INSTALLATION WORK UNTIL A PRE-CONSTRUCTION MEETING HAS BEEN HELD AND THEY HAVE BEEN NOTIFIED BY THE WHITE HOUSE UTILITY DISTRICT TO PROCEED WITH THE WORK. THE CONTRACTOR WILL ALSO NEED TO PROVIDE A WHUD SUBGRADE LETTER FOR APPROVAL BEFORE PIPE INSTALLATION WILL TAKE PLACE.
2. THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES, INCLUDING SERVICE LATERALS, AND DRAINAGE STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTHS OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT, AND TO PROTECT THE SAME DURING CONSTRUCTION.
3. THE CONTRACTOR WILL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION FROM DAMAGE DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES.
4. NO METER BOXES TO BE SET IN DRIVEWAYS. ANY METER BOXES SET IN DRIVEWAYS WILL BE RELOCATED AT THE CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
5. THE CONTRACTOR SHALL MAINTAIN SERVICE TO EXISTING UTILITIES AT ALL TIMES DURING CONSTRUCTION.
6. ALL WATER MAINS GREATER THAN TWO (2) INCHES IN DIAMETER SHALL BE DUCTILE IRON CLASS 52 PIPE.
7. ALL WATER MAINS SHALL BE INSTALLED AT A MINIMUM DEPTH OF 36 INCHES UNLESS OTHERWISE NOTED ON THE CONSTRUCTION PLANS.
8. MECHANICAL JOINT RESTRAINTS ARE TO BE ADDED ON ALL TEES, VALVES, BENDS, AND HYDRANTS (MEGA LUG TYPE) A MINIMUM OF 40 FT LENGTH OF RESTRAINED JOINT PIPE SHALL BE ON EACH SIDE OF ALL VALVES AND FITTINGS.
9. RESTRAINED JOINT PIPE WILL BE DEVELOPED WITH FIELD INSTALLED LOCKING GASKETS.
10. ALL DEAD END LINES WILL RECEIVE A MINIMUM OF 60 FT OF RESTRAINED JOINT PIPE AT ENDS.
11. ALL BENDS 45 DEGREES AND UNDER WILL RECEIVE RESTRAINED JOINT PIPE 40 FT UP & DOWNSTREAM.
12. ALL 90 DEGREE BENDS WILL RECEIVE RESTRAINED JOINT PIPE 60 FT UP & DOWNSTREAM.
13. WATER MAINS AND SEWER MAINS MUST MAINTAIN A MINIMUM OF TEN (10) FOOT HORIZONTAL CLEARANCE AND/OR EIGHTEEN (18) INCHES VERTICAL CLEARANCE AT ALL TIMES.
14. THE CONTRACTOR WILL KEEP THE AREA ON TOP OF AND AROUND THE WATER METER BOX FREE OF ALL OBJECTS AND DEBRIS.
15. ALL TESTING WILL BE DONE IN ACCORDANCE WITH THE MOST RECENT WHITE HOUSE UTILITY DISTRICT STANDARDS.
16. IN NO CASE ARE VALVES TO BE LOCATED WITHIN PAVED AREAS.
17. ADEQUATE SPACE SHALL BE PROVIDED FOR THE INSTALLATION AND MAINTENANCE OF METER VAULTS, BACKFLOW PREVENTION ASSEMBLIES AND WATER MAINS.
18. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PERMANENTLY PLACE ANY WASTE MATERIALS IN THE FLOOD PLAIN WITHOUT FIRST OBTAINING REQUIRED PERMITS.
19. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY THE WHITE HOUSE UTILITY DISTRICT.

BLASTING

WHEN ALLOWABLE, BLASTING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROPRIATE CRITERIA ESTABLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION OR APPLICABLE LOCAL CODES.

WHEN BLASTING IS ALLOWING, BLASTING FOR SEWER LINE EXCAVATION MUST BE DONE IN SUCH A MANNER AS TO MINIMIZE THE FRACTURING OF ROCK BEYOND THE REQUIRED EXCAVATION. THE CONTRACTOR SHALL CONSIDER THE ELEVATION OF THE EXISTING WATER MAIN IN RELATION TO THE BLASTING CHARGE AND THE RELATIVE DIRECTION OF EXISTING AND PROPOSED TRENCHES. BLASTING WITHIN SUCH AREAS SHALL BE ACCOMPANIED ONLY BY QUALIFIED BLASTING CONTRACTORS WHO HOLD BLASTING LICENSES FROM A QUALIFIED AGENCY. ANY DAMAGE TO EXISTING WATER MAINS RESULTING FROM BLASTING SHALL BE REPAIRED AND RETESTED BY THE CONTRACTOR AT HIS OWN EXPENSE.

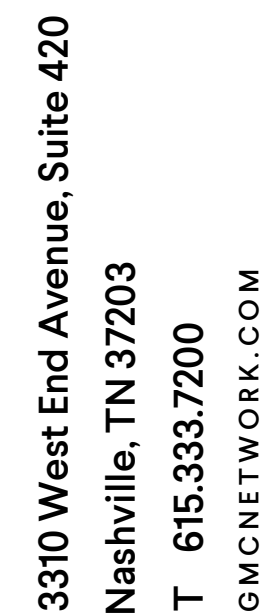
WORK COMPLETED BY THE CONTRACTOR WHICH HAS NOT RECEIVED A NOTICE TO PROCEED BY THE WHITE HOUSE UTILITY DISTRICT WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.

BLASTING

20. WHEN ALLOWABLE, BLASTING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROPRIATE CRITERIA ESTABLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION OR APPLICABLE LOCAL CODES.

21. WHEN BLASTING IS ALLOWING, BLASTING FOR SEWER LINE EXCAVATION MUST BE DONE IN SUCH A MANNER AS TO MINIMIZE THE FRACTURING OF ROCK BEYOND THE REQUIRED EXCAVATION. THE CONTRACTOR SHALL CONSIDER THE ELEVATION OF THE EXISTING WATER MAIN IN RELATION TO THE BLASTING CHARGE AND THE RELATIVE DIRECTION OF EXISTING AND PROPOSED TRENCHES. BLASTING WITHIN SUCH AREAS SHALL BE ACCOMPLISHED ONLY BY QUALIFIED BLASTING CONTRACTORS WHO HOLD BLASTING LICENSES FROM A QUALIFIED AGENCY. ANY DAMAGE TO EXISTING WATER MAINS RESULTING FROM BLASTING SHALL BE REPAIRED AND RETESTED BY THE CONTRACTOR AT HIS OWN EXPENSE.

22. WORK COMPLETED BY THE CONTRACTOR WHICH HAS NOT RECEIVED A NOTICE TO PROCEED BY THE WHITE HOUSE UTILITY DISTRICT WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.



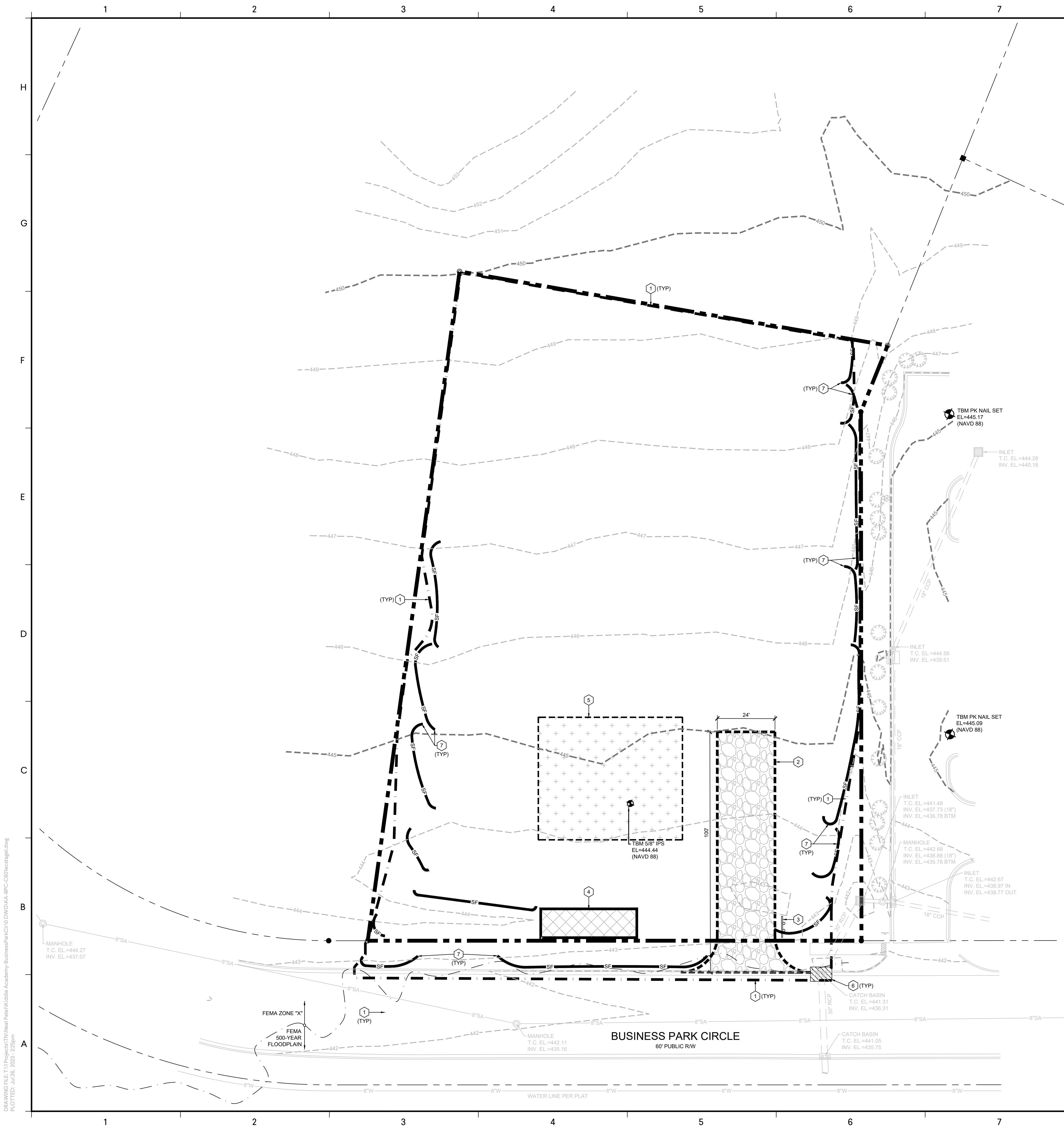
ISSUE	DATE
P.C. SUBMITTAL	06/30/2023
P.C. RESUBMITTAL	07/26/2023
DRAWN BY:	L. SMITH
CHECKED BY:	M. WEISZ

KIDDIE ACADEMY
BUSINESS PARK CIRCLE
GOODLETTSVILLE, TN 37072

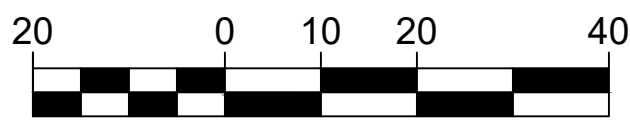
PUBLIC
WATER PLAN

C-302

GMC PROJECT #CNAS230004



Know what's **below**.
Call before you dig.



NOTE:

REF. C-001 FOR ADDITIONAL NOTES.

LEGEND

- | | | |
|---|-----|--|
|  | 628 | PROPOSED CONTOUR |
|  | 622 | EXISTING CONTOUR |
|  | 620 | EXISTING INDEX CONTOUR |
|  | WT | WEIGHTED SEDIMENT TUBE |
|  | SF | TEMPORARY SILT FENCE |
|  | | CONSTRUCTION ENTRANCE/EXIT
(VEHICLE TRACKING CONTROL) |
|  | | FINAL STABILIZATION
LANDSCAPE / MULCH |
|  | | TEMPORARY INLET PROTECTION |
|  | | TEMPORARY ROCK CHECK DAM |

CONTRACTOR KEY NOTES:

- 1 LIMITS OF DISTURBANCE, 52,852 S.F. (1,213 AC.)
- 2 CONTRACTOR TO INSTALL AND MAINTAIN CONSTRUCTION ENTRANCE / EXIT FOR
VEHICLE TRACKING CONTROL (REF. C-901)
- 3 SWPPP NOTICE SIGNAGE (REF. C-901)
- 4 CONSTRUCTION TRAILER LOCATION
- 5 TEMPORARY LAYDOWN AREA
- 6 CONTRACTOR TO INSTALL AND MAINTAIN STORM DRAIN INLET PROTECTION DURING
CONSTRUCTION. INLET PROTECTION TO BE FLEXSTORM. (REF. C-901)
- 7 CONTRACTOR TO INSTALL AND MAINTAIN REINFORCED SILT FENCE PERIMETER
CONTROL (REF. C-901)

GN

33310 West End Avenue, Suite 420
Nashville, TN 37203
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	ISSUE	DATE
P.C. SUBMITTAL		06/30/2023
P.C. RESUBMITTAL		07/26/2023
DRAWN BY:		L. SMITH
CHECKED BY:		M. WEISZ

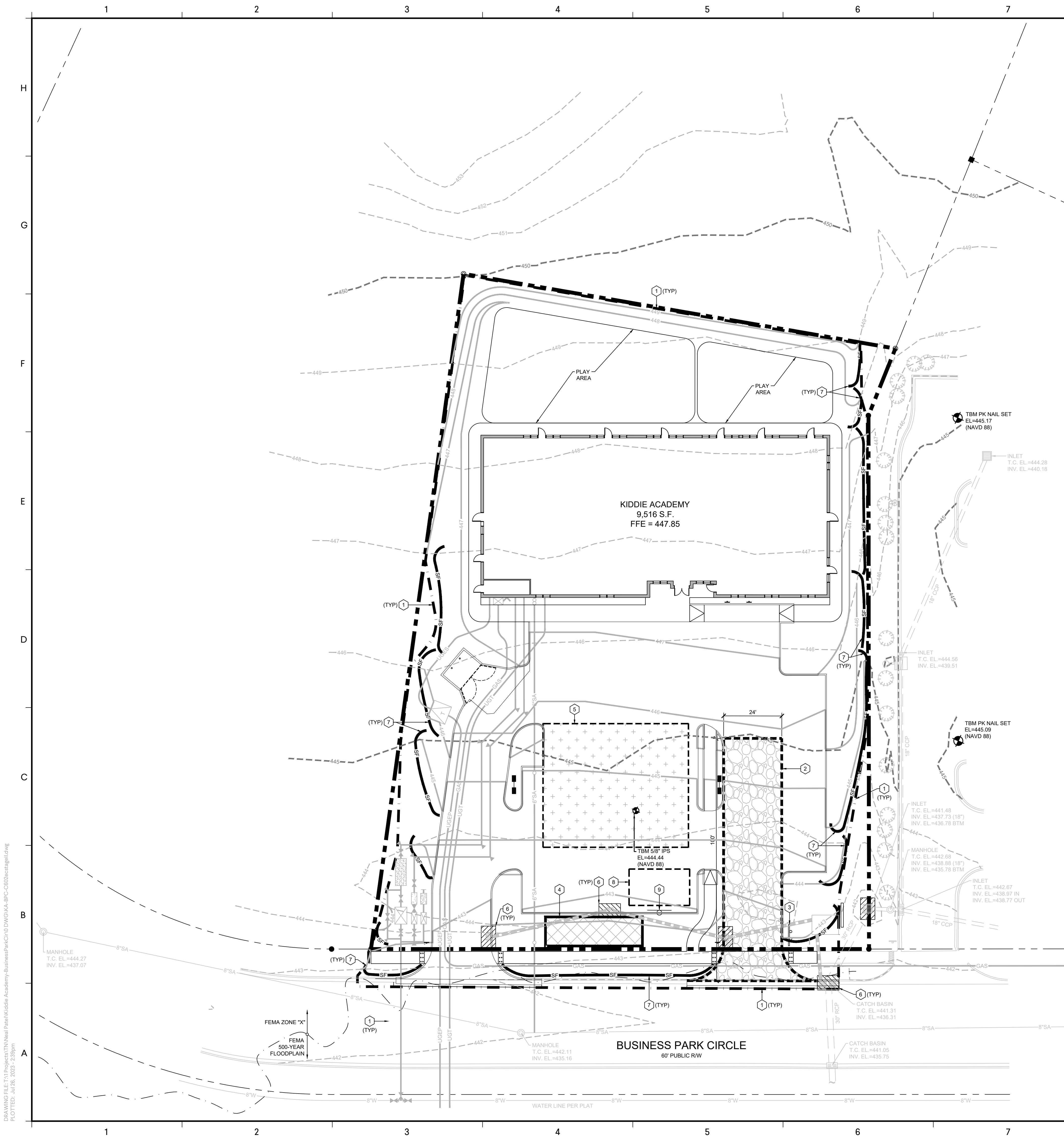
KIDDIE ACADEMY
BUSINESS PARK CIRCLE
GOODLETTSVILLE, TN 37072



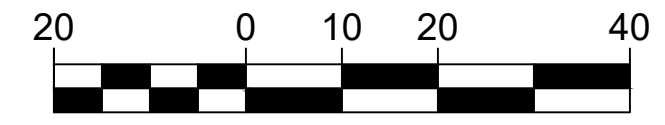
EROSION CONTROL STAGE I

C-601

GMC PROJECT #CNAS230004



Know what's **below**.
Call before you dig.



NOTE:

REF. C-001 FOR ADDITIONAL NOTES.

LEGEND

- | | | |
|---|------------|--|
|  | 628 | PROPOSED CONTOUR |
|  | 622 | EXISTING CONTOUR |
|  | 620 | EXISTING INDEX CONTOUR |
|  | WT | WEIGHTED SEDIMENT TUBE |
|  | SF | TEMPORARY SILT FENCE |
|  | | CONSTRUCTION ENTRANCE/EXIT
(VEHICLE TRACKING CONTROL) |
|  | | FINAL STABILIZATION
LANDSCAPE / MULCH |
|  | | TEMPORARY INLET PROTECTION |
|  | | TEMPORARY ROCK CHECK DAM |

CONTRACTOR KEY NOTES:

- 1 LIMITS OF DISTURBANCE, 52,852 S.F. (1.213 AC.)
- 2 CONTRACTOR TO INSTALL AND MAINTAIN CONSTRUCTION ENTRANCE / EXIT FOR VEHICLE TRACKING CONTROL (REF. C-901)
- 3 SWPPP NOTICE SIGNAGE (REF. C-901)
- 4 CONSTRUCTION TRAILER LOCATION
- 5 TEMPORARY LAYDOWN AREA
- 6 CONTRACTOR TO INSTALL AND MAINTAIN STORM DRAIN INLET PROTECTION DURING CONSTRUCTION. INLET PROTECTION TO BE FLEXSTORM. (REF. C-901)
- 7 CONTRACTOR TO INSTALL AND MAINTAIN REINFORCED SILT FENCE PERIMETER CONTROL (REF. C-901)
- 8 TEMPORARY CONCRETE CHUTE WASHOUT AREA (REF. C-901)
- 9 TEMPORARY CONCRETE CHUTE WASHOUT AREA SIGN (REF. C-901)



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ISSUE	DATE
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DRAWN BY:	L. SMITH
CHECKED BY:	M. WEISZ

KIDDIE ACADEMY
BUSINESS PARK CIRCLE
GOODLETTSVILLE, TN 37072

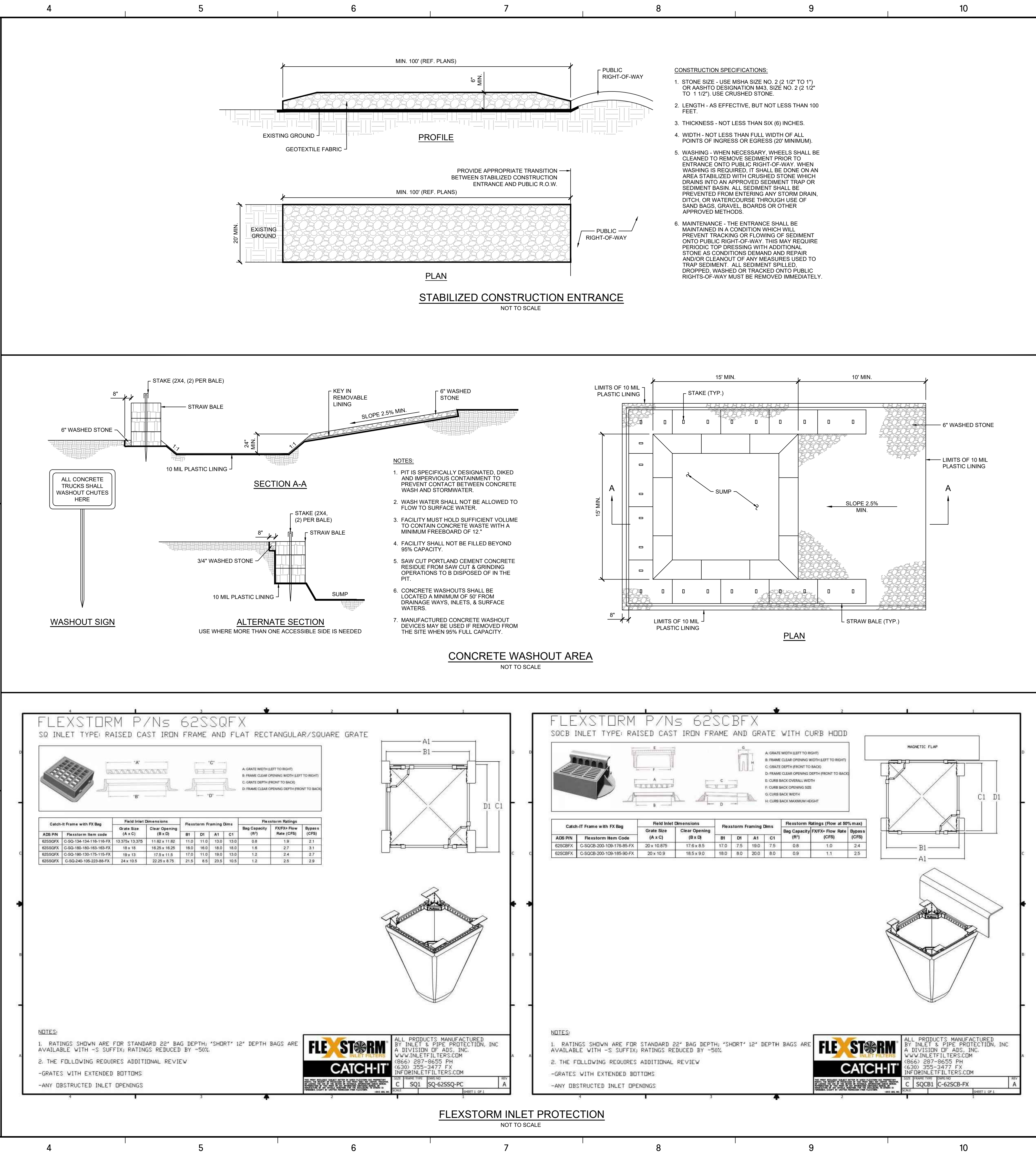
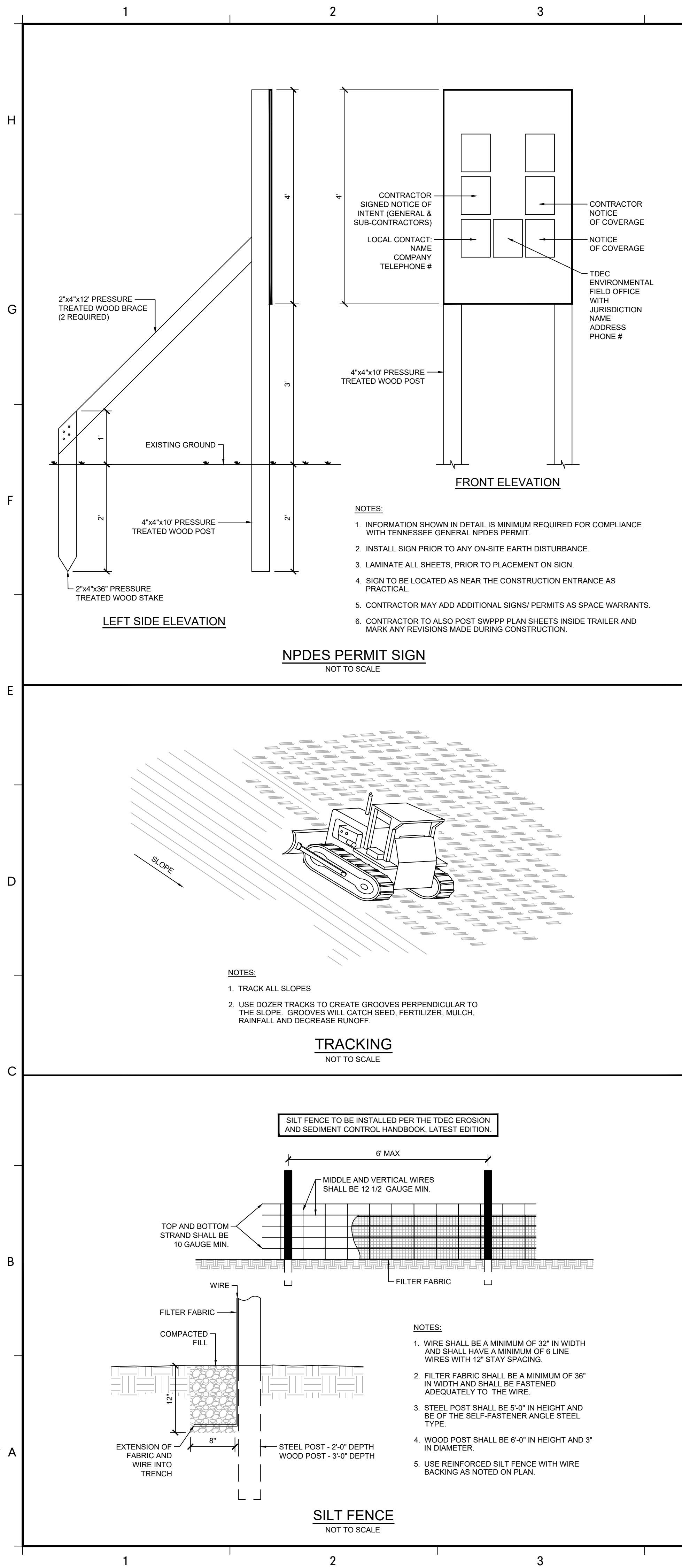


**EROSION
CONTROL
STAGE I**

C-602

GMC PROJECT #CNAS230004

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ISSUE DATE

P.C. SUBMITTAL	06/30/2023
P.C. RESUBMITTAL	07/26/2023

DRAWN BY: L. SMITH
CHECKED BY: M. WEISZ

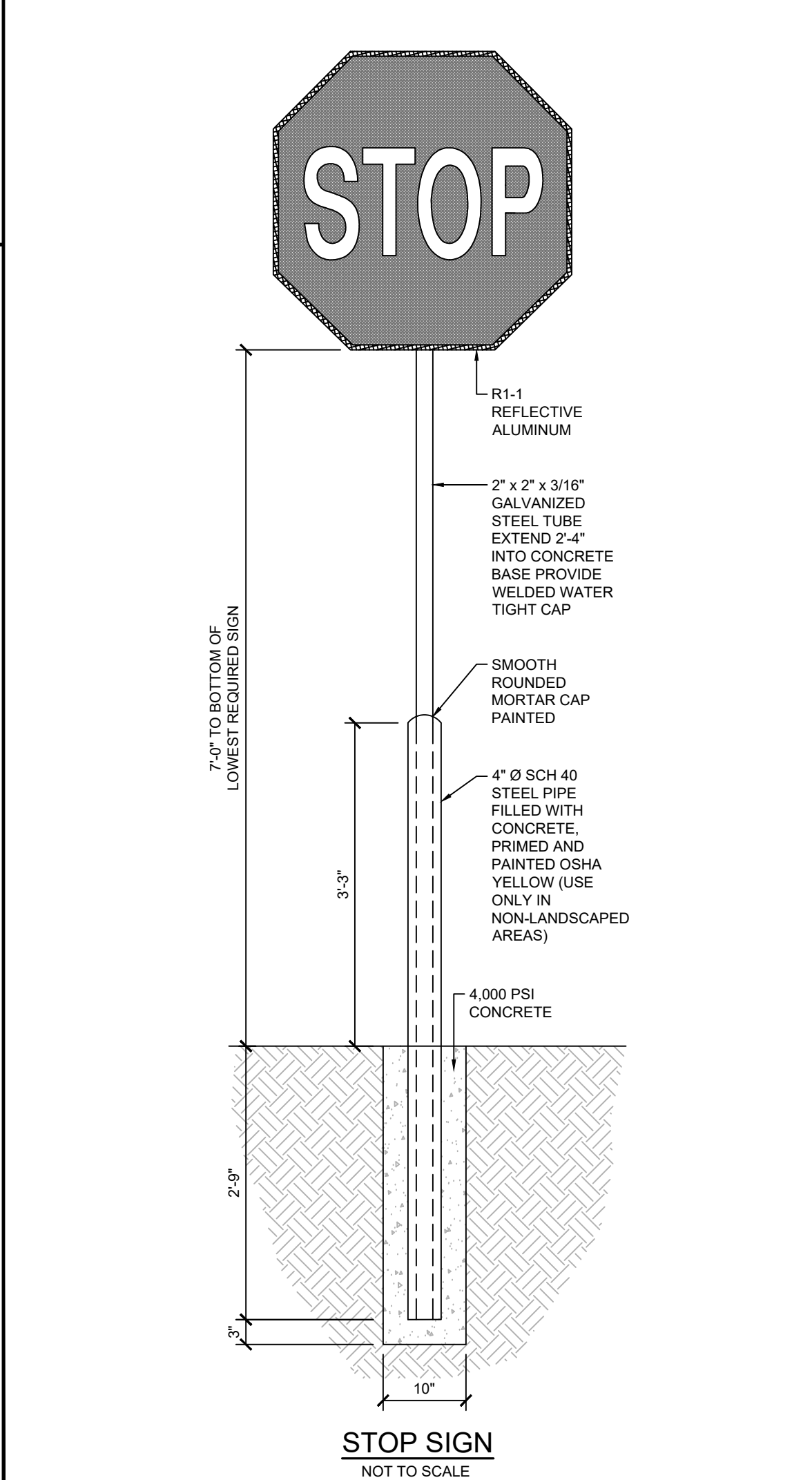
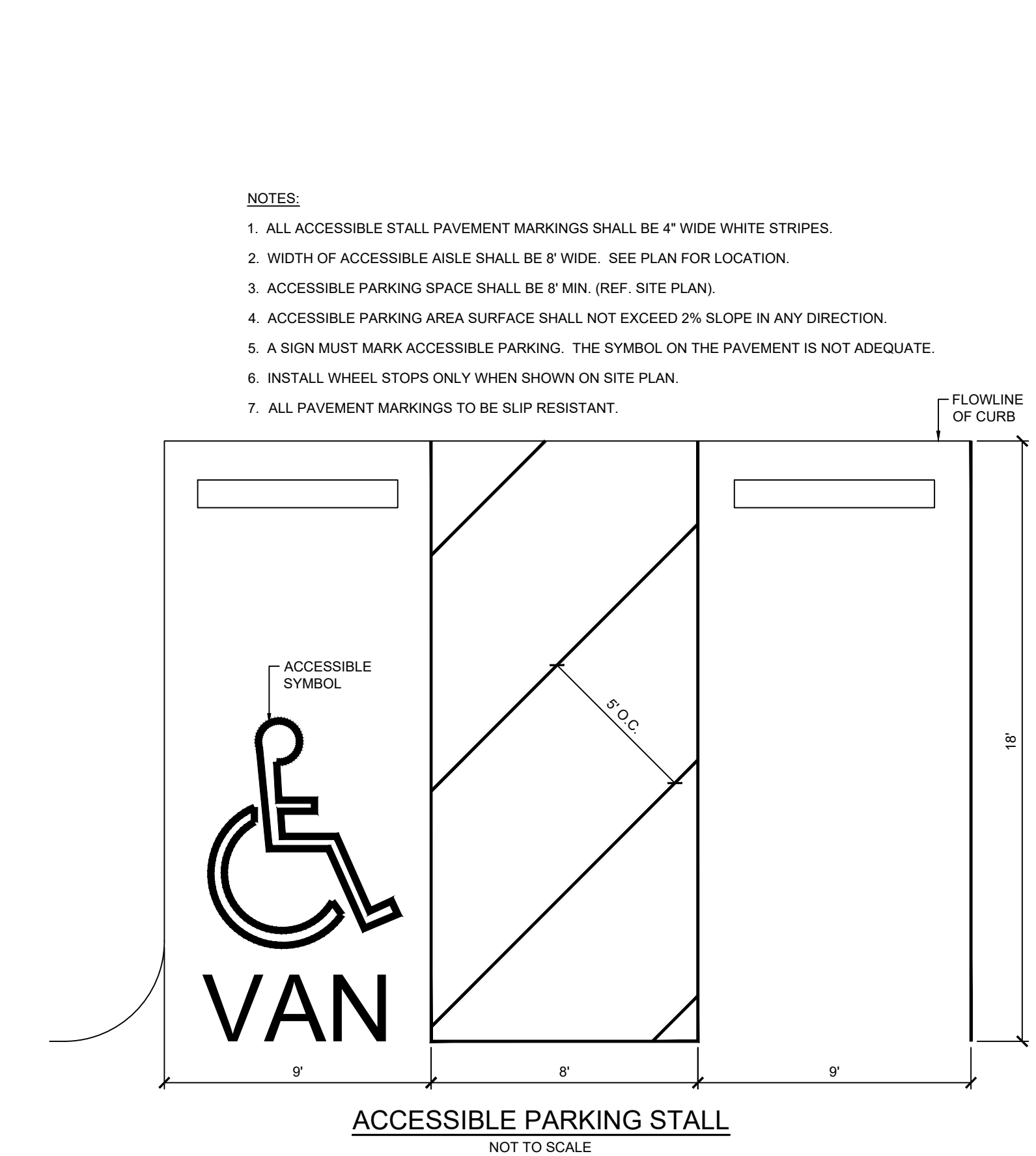
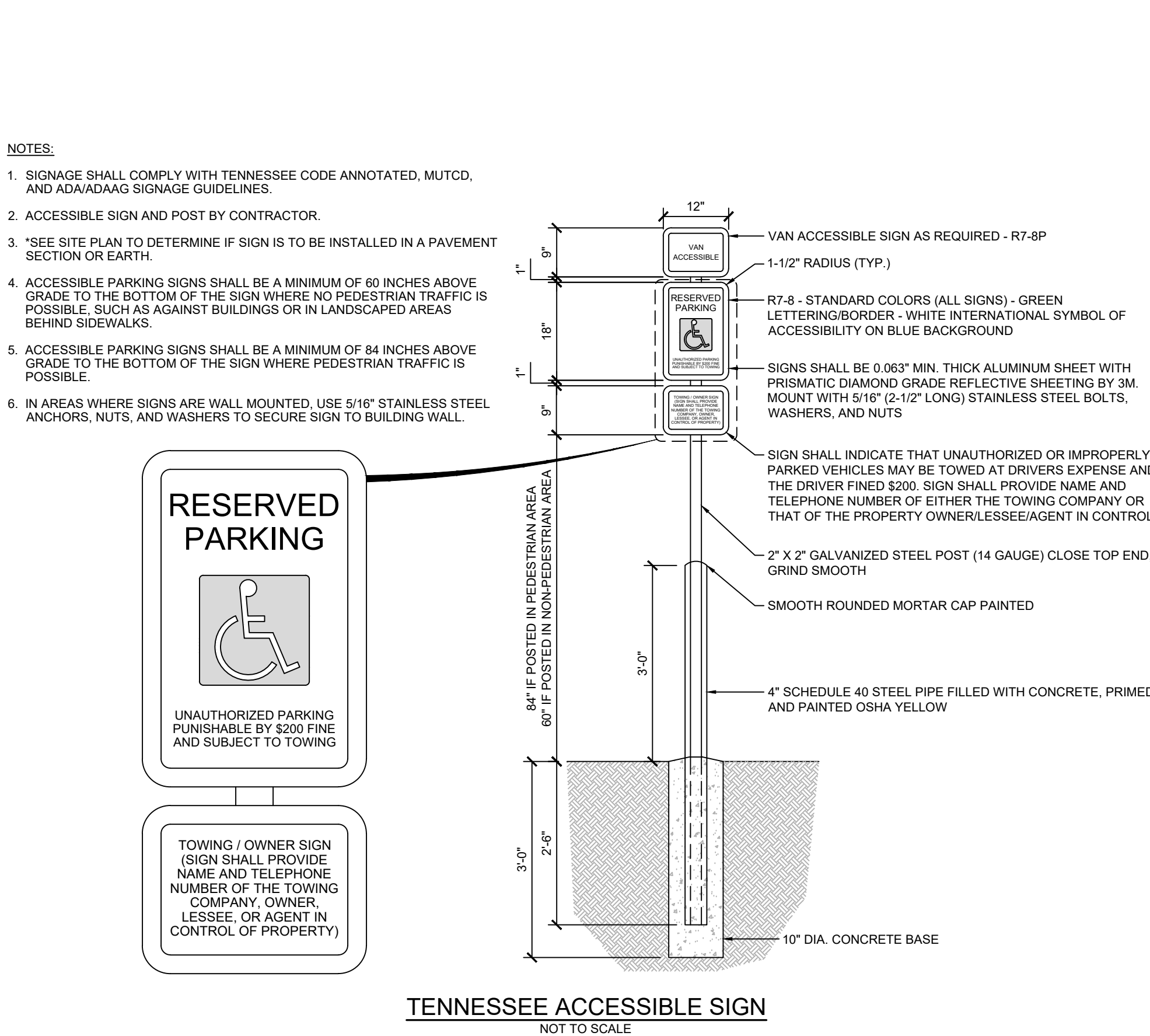
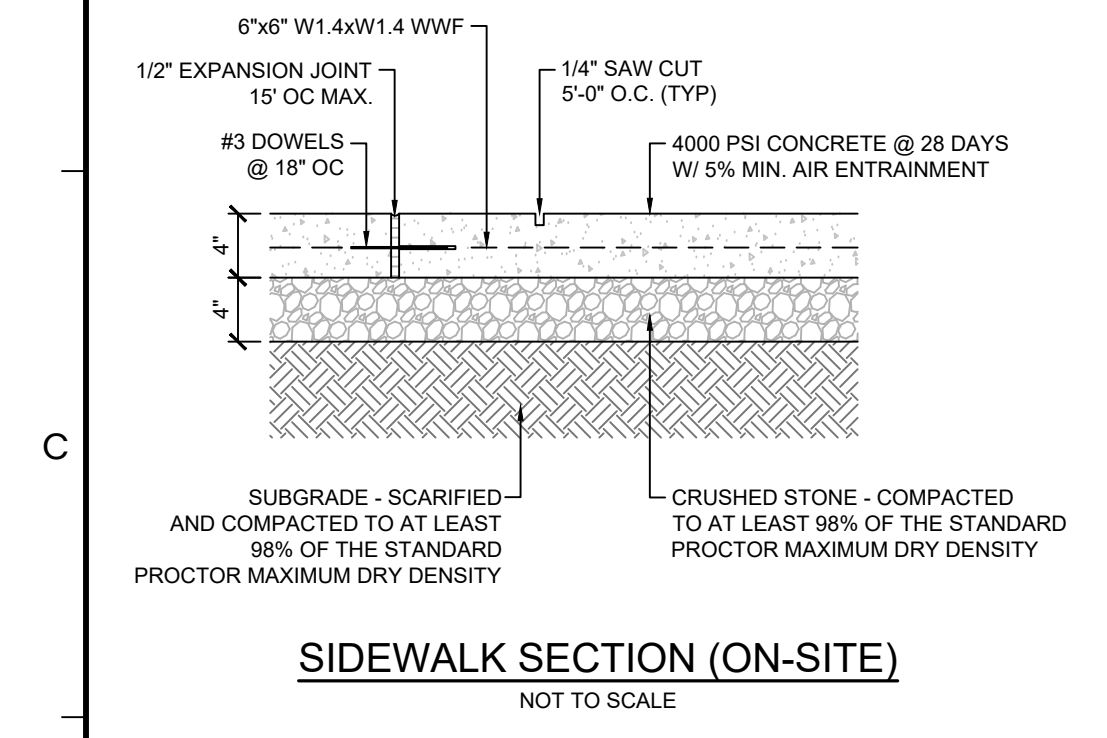
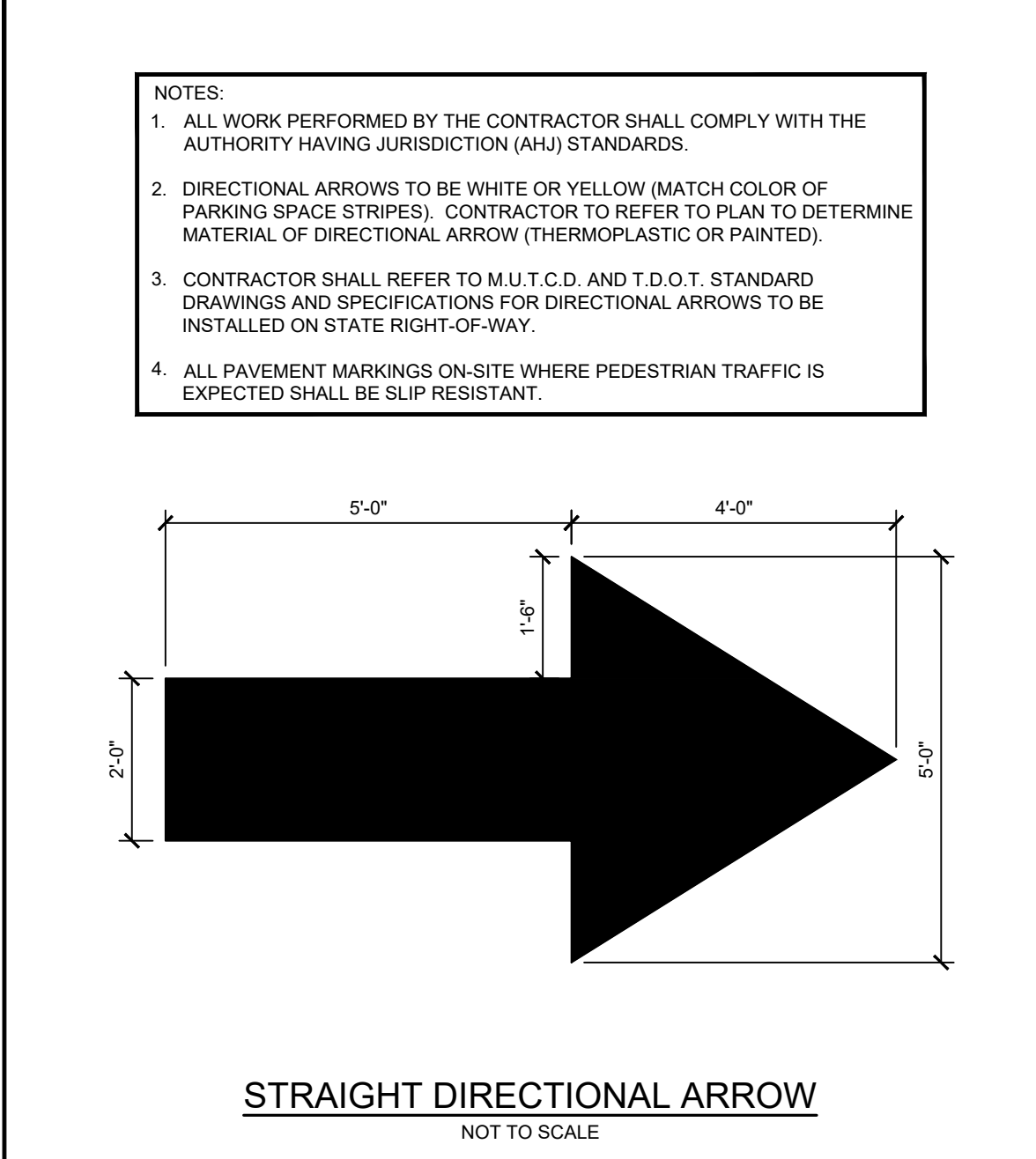
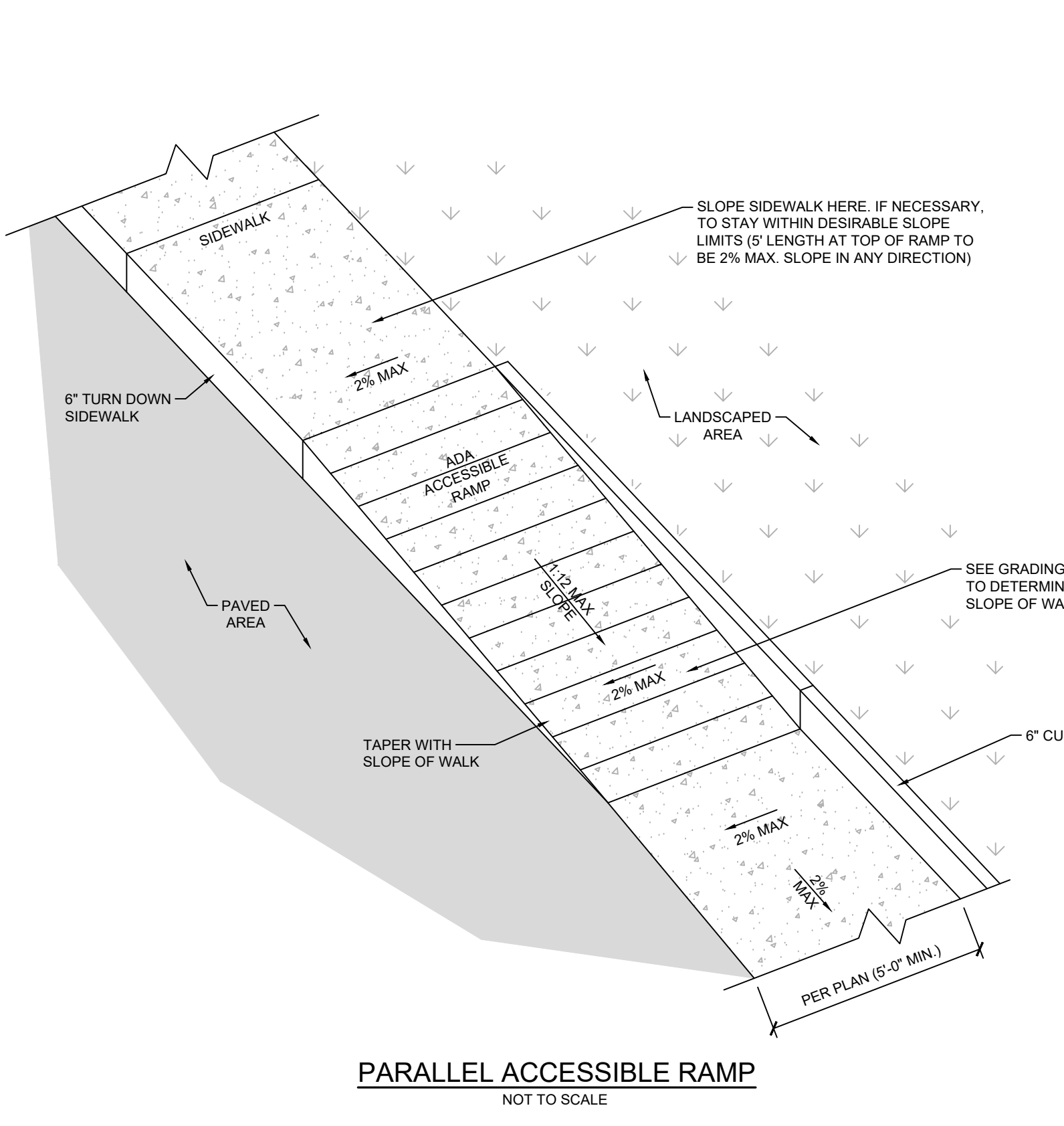
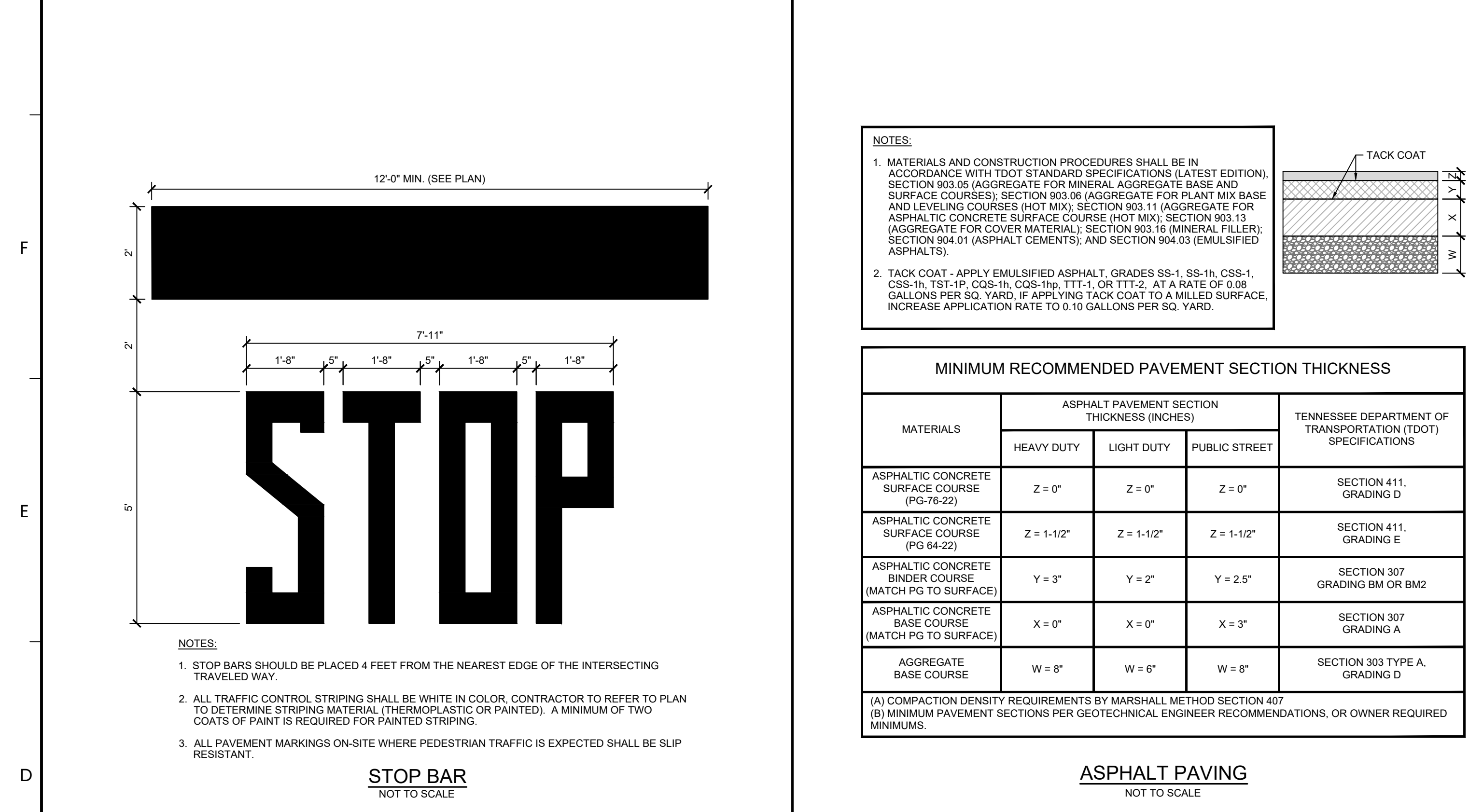
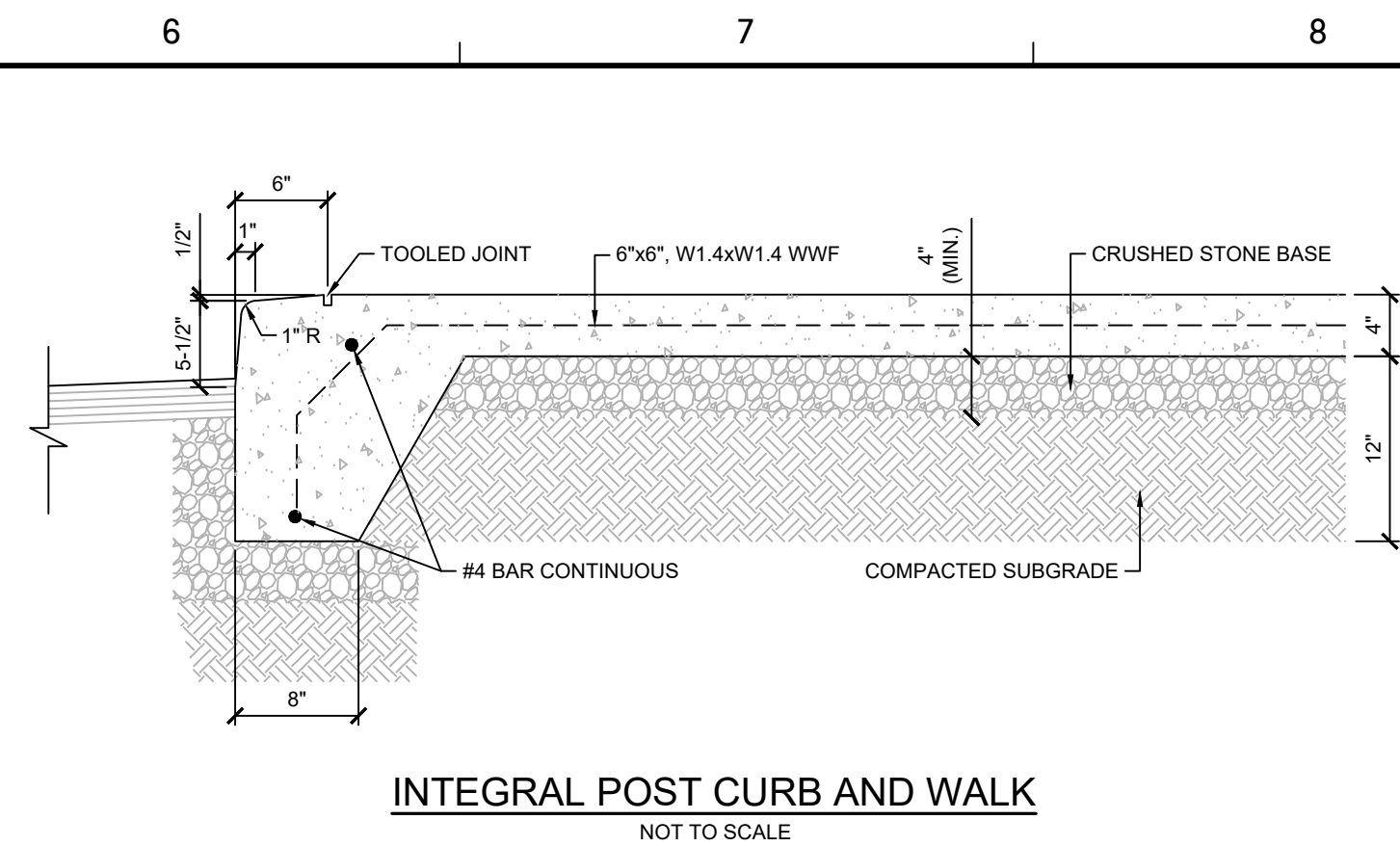
KIDDIE ACADEMY
BUSINESS PARK CIRCLE
GOODLETTSVILLE, TN 37072

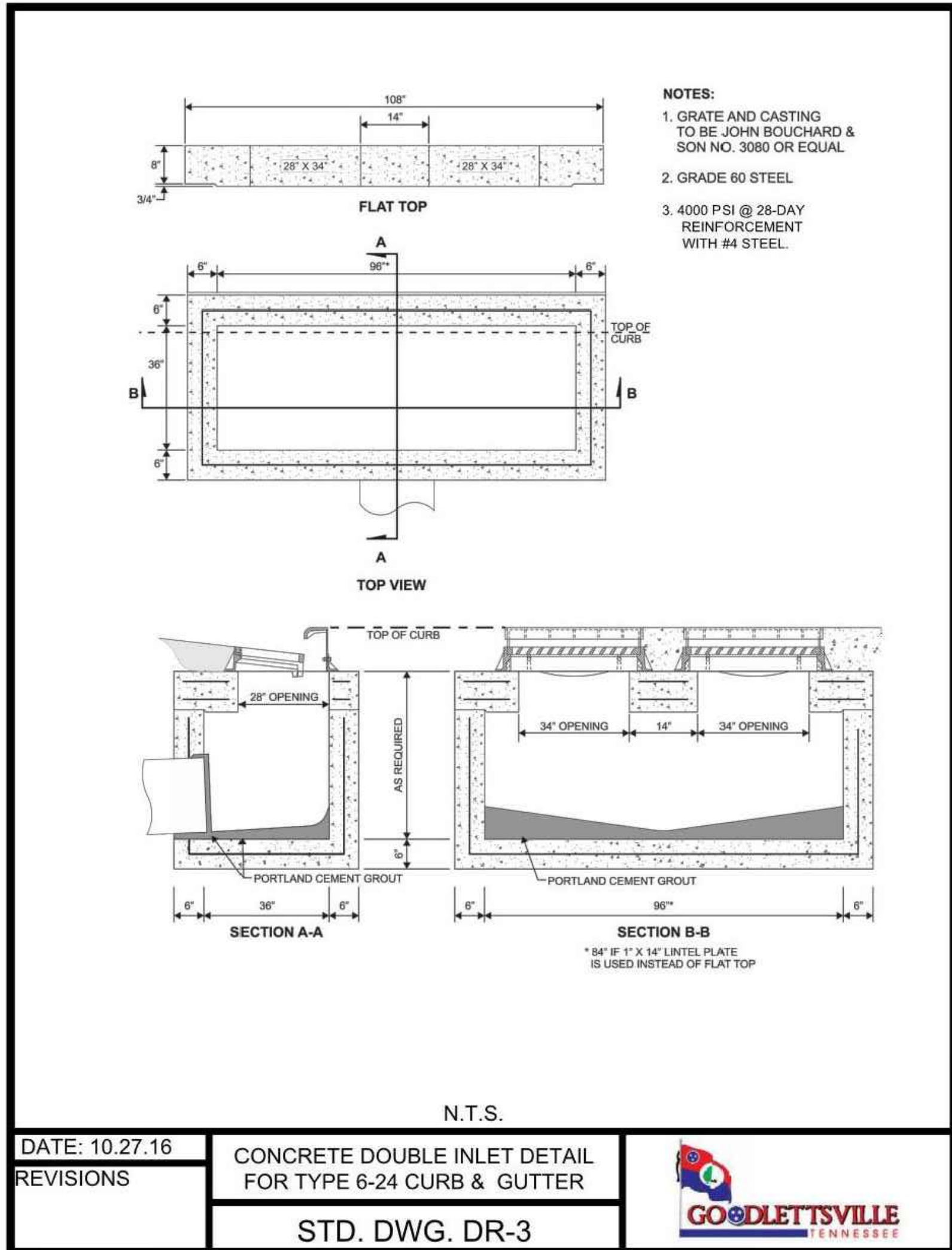
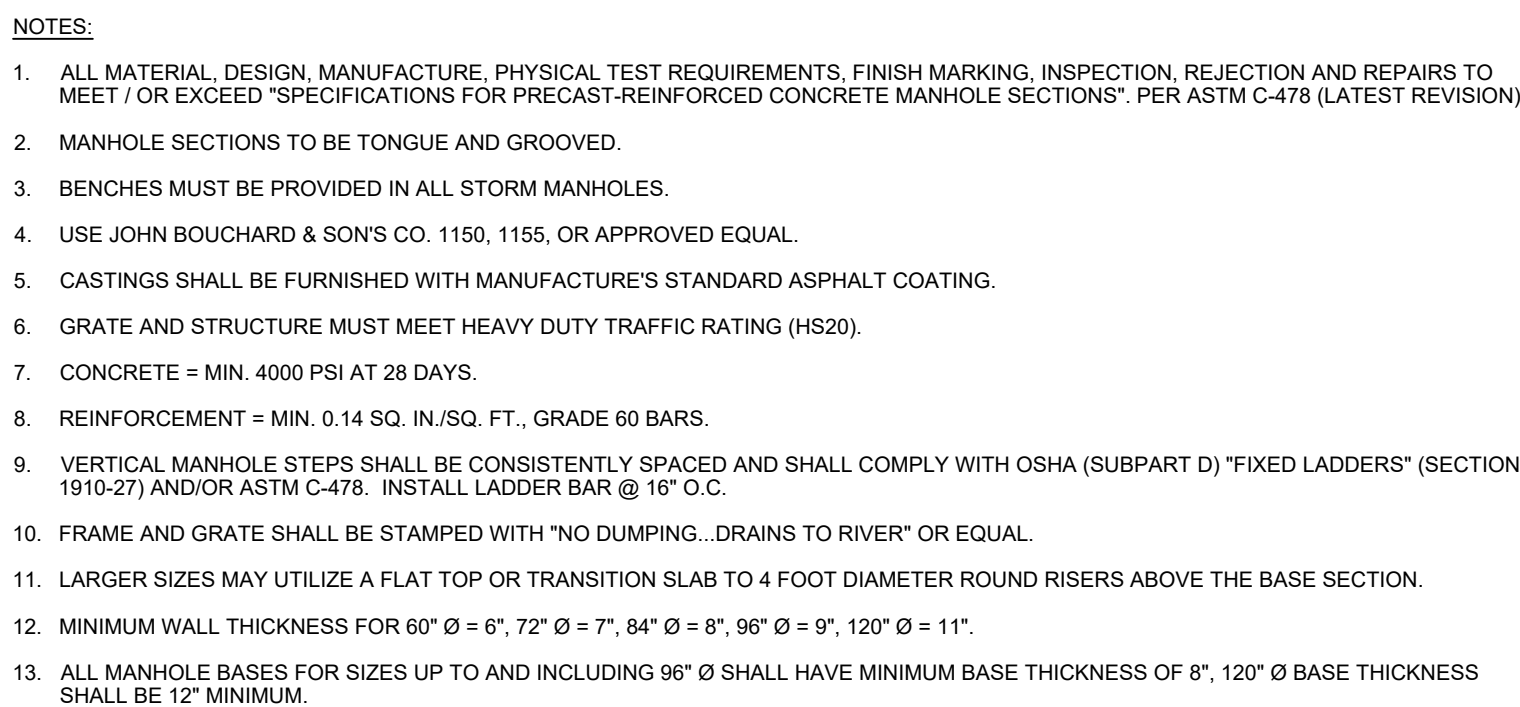
EROSION CONTROL DETAILS

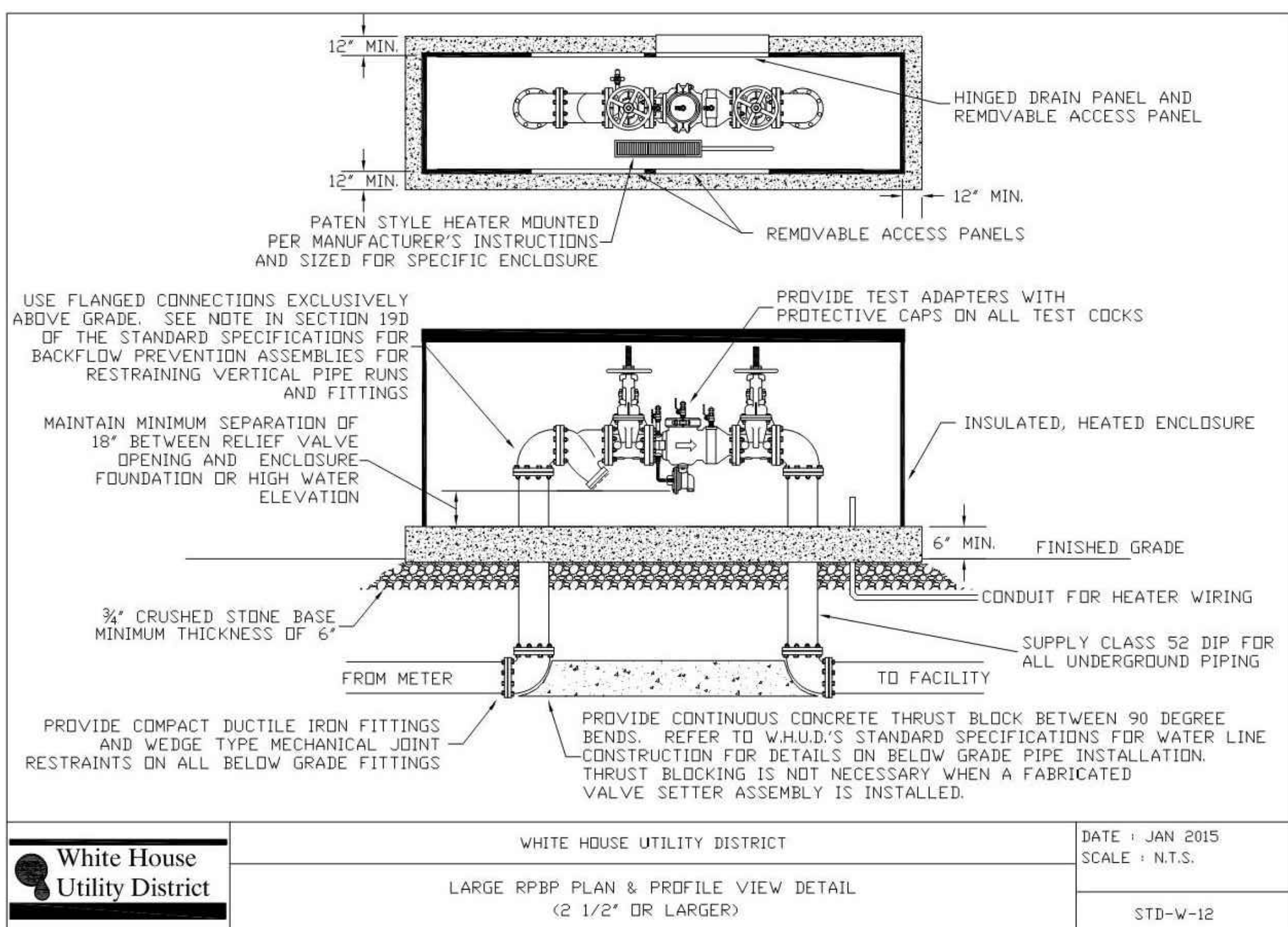
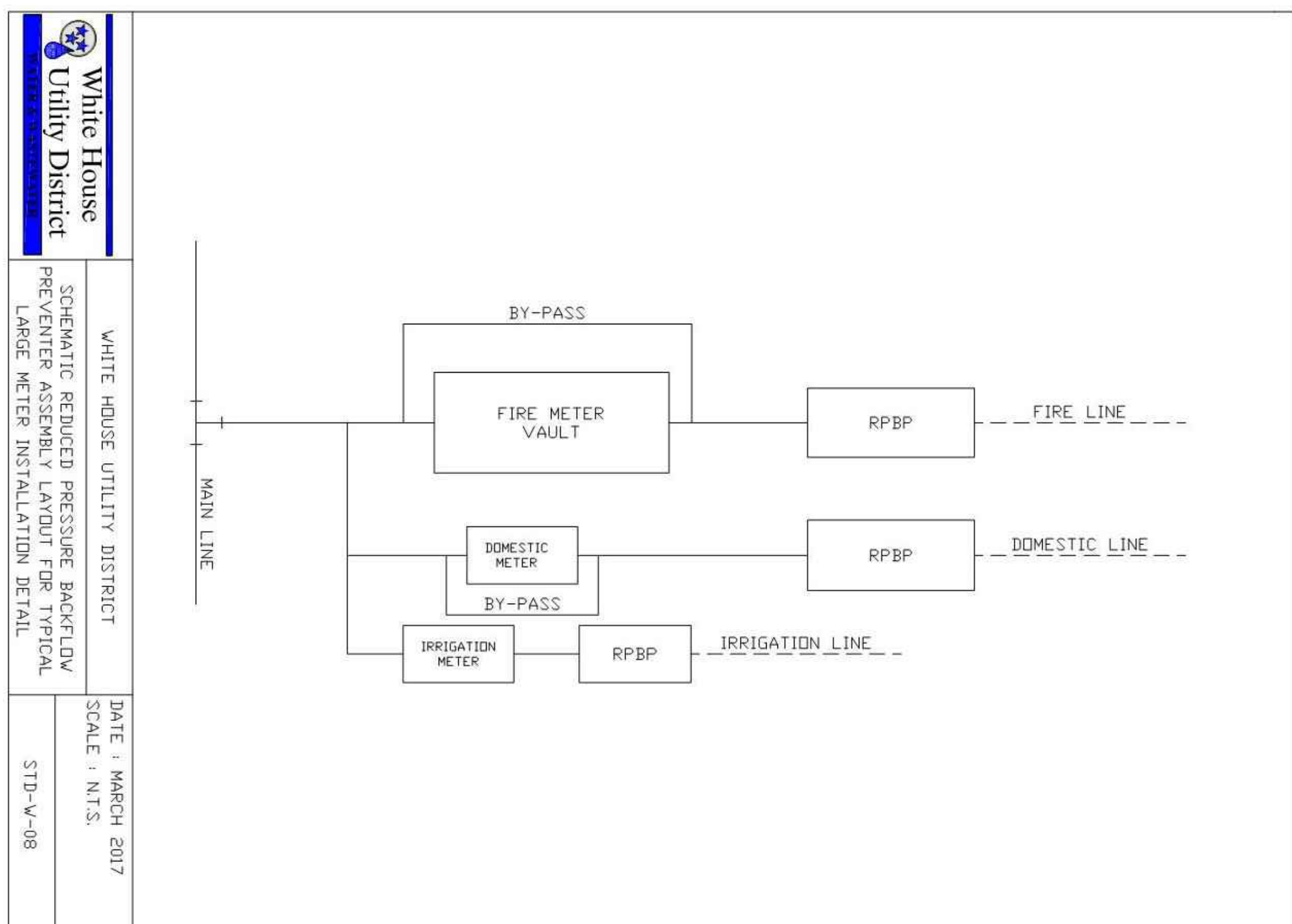
C-901

GMC PROJECT #CNAS230004

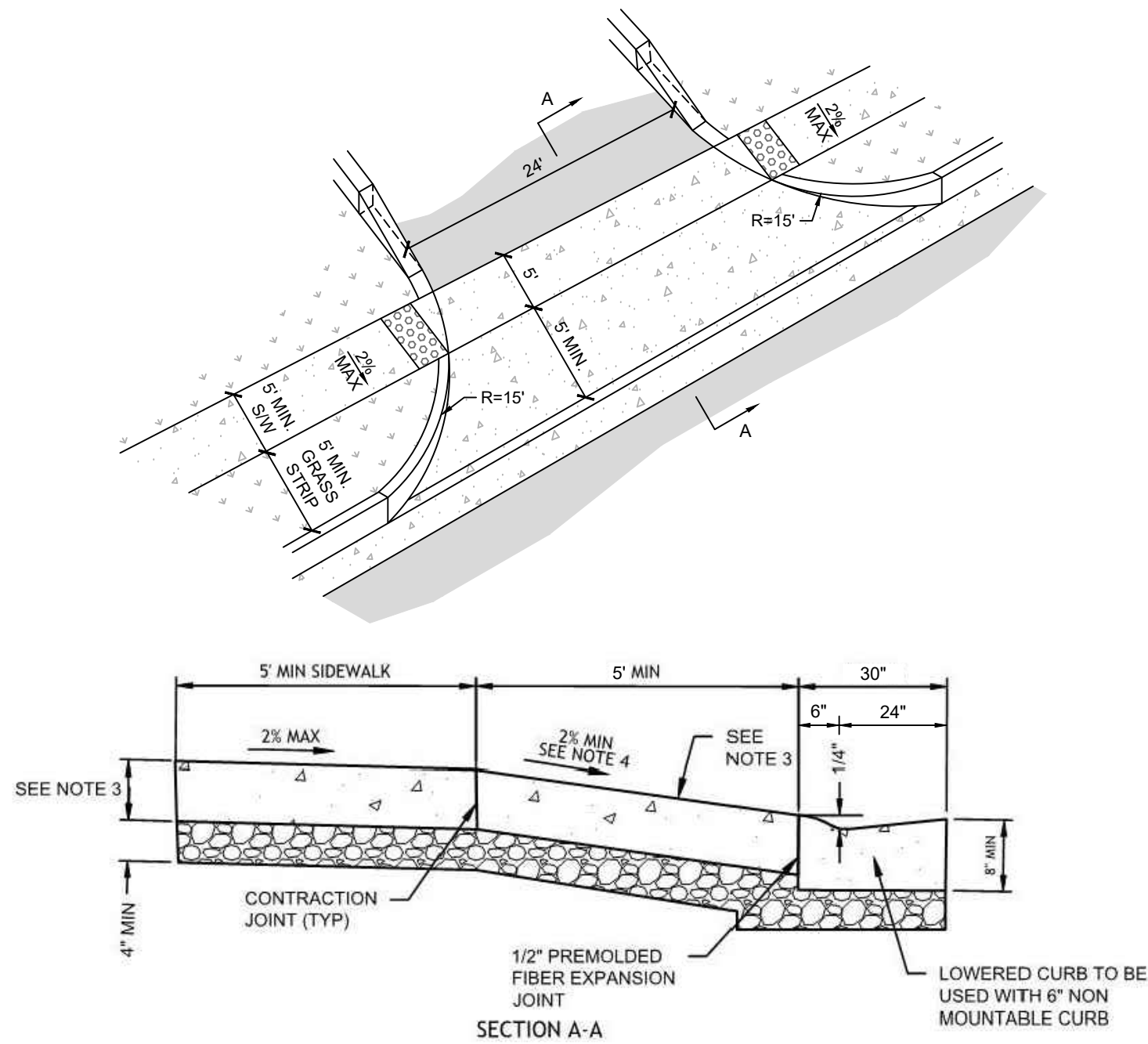
STATE OF TENNESSEE
MICHAEL CHRISTOPHER WESLEY
AGRICULTURE
No. 126849
7th J13

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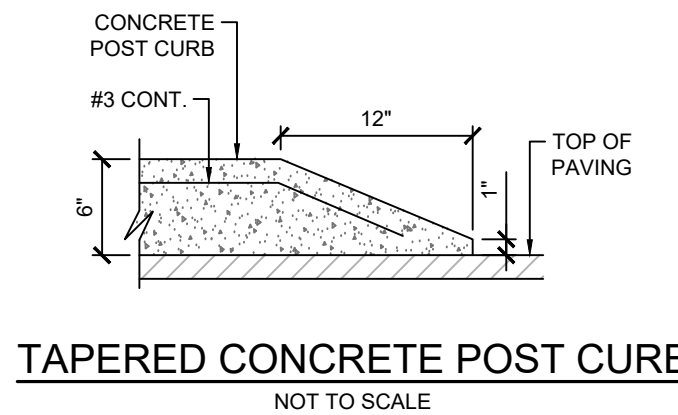


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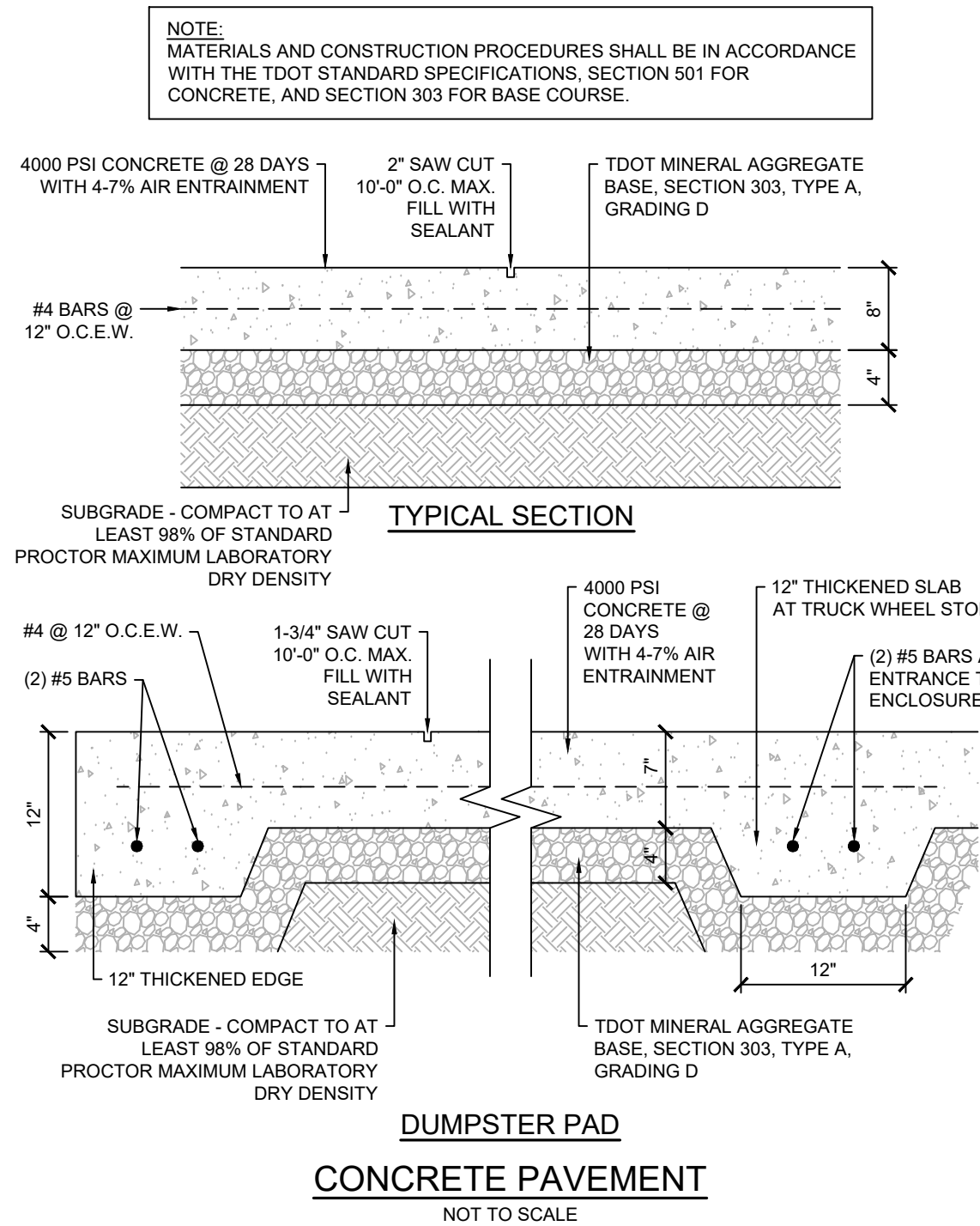


- GENERAL NOTES
1. 5' MINIMUM SIDEWALK WITH A MAXIMUM CROSS SLOPE OF 2% THROUGH DRIVEWAYS
 2. 4" MINIMUM BASE STONE REQUIRED UNDER ALL DRIVEWAYS
 3. COMMERCIAL DRIVEWAYS SHALL BE A MINIMUM OF 8" OF CLASS "A" CONCRETE WITH SYNTHETIC FIBER REINFORCEMENT
 4. DRIVEWAY RAMP GRADE VARIES, 8.33% MAXIMUM APRON GRADE FOR COMMERCIAL DRIVEWAYS. CLASS "A" CONCRETE, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH SYNTHETIC MICROFIBER
 5. REINFORCEMENT.

DRIVEWAY ENTRANCE
NOT TO SCALE

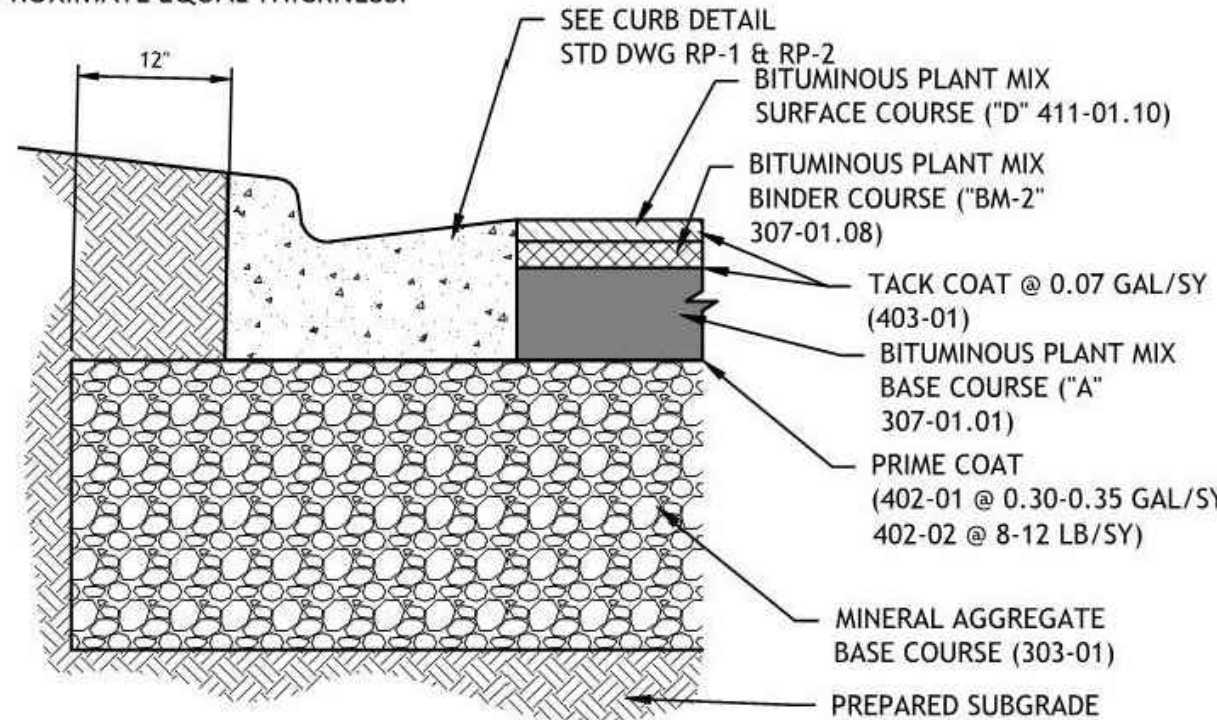


TAPERED CONCRETE POST CURB
NOT TO SCALE



COMBINATION ASPHALT CONCRETE AND AGGREGATE BASE (MINIMUM REQUIRED THICKNESS)					
CLASSIFICATION	MINERAL AGGREGATE BASE COURSE	ASPHALT PAVEMENT			TOTAL THICKNESS
		BASE/BINDER		SURFACE COURSE	
		"A"	"B"-M2	"D"	
RESIDENTIAL COLLECTORS, & LOCAL STREETS	8"	-	3"	1.5"	12.5"
NON-RESIDENTIAL COLLECTORS & MINOR ARTERIALS	8"	3"	2.5"	1.5"	15"
MAJOR ARTERIALS & INDUSTRIAL	10"	4"	2.5"	1.5"	18"

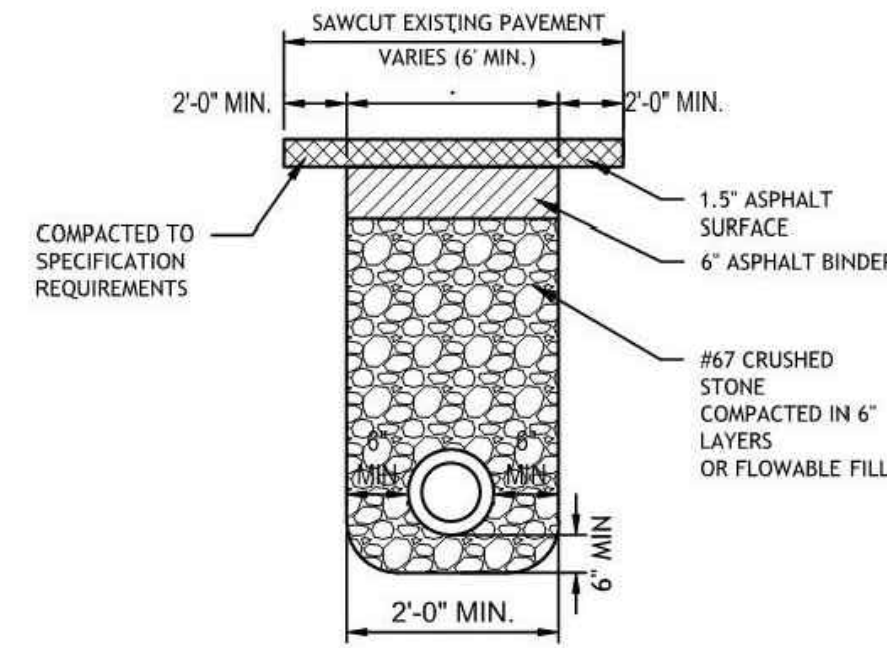
1. THE CITY ENGINEER MAY REQUIRE PERFORMANCE GRADE ASPHALT BASED ON PROJECTED TRAFFIC LOADINGS. ADDITIONAL THICKNESS OR A DETAILED PAVEMENT DESIGN BASED ON A GEOTECHNICAL ANALYSIS MAY ALSO BE REQUIRED.
2. COMPACTED SUBGRADE SHALL BE INSPECTED AND ACCEPTED BY THE CITY PRIOR TO PLACEMENT OF ANY AGGREGATE OR PAVEMENT LAYERS.
3. IF THE REQUIRED COMPACTED DEPTH OF THE MINERAL AGGREGATE BASE COURSE EXCEEDS SIX (6) INCHES, THE BASE SHALL BE CONSTRUCTED IN TWO OR MORE LAYERS OF APPROXIMATE EQUAL THICKNESS.



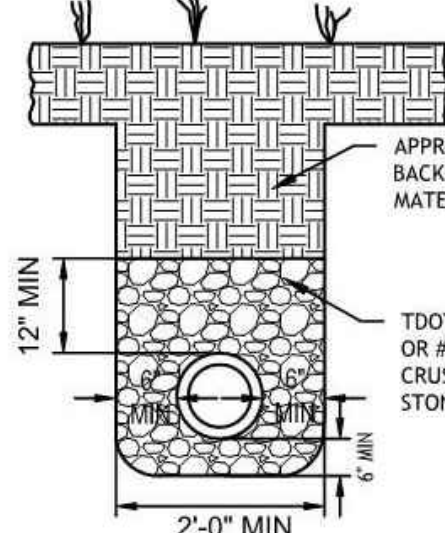
N.T.S.

DATE: 10.27.16
REVISIONS

TYPICAL PAVEMENT
THICKNESS
STD. DWG. RD-2



INSIDE ROADWAY



OUTSIDE ROADWAY

* EXACT DEPTH TO BE PER UTILITY SPECIFICATIONS

REFER TO CITY OF GOODLETTSVILLE UTILITY CUT REPAIR GUIDELINES AND SPECIFICATIONS FOR REQUIREMENTS. (APPENDIX A)

N.T.S.

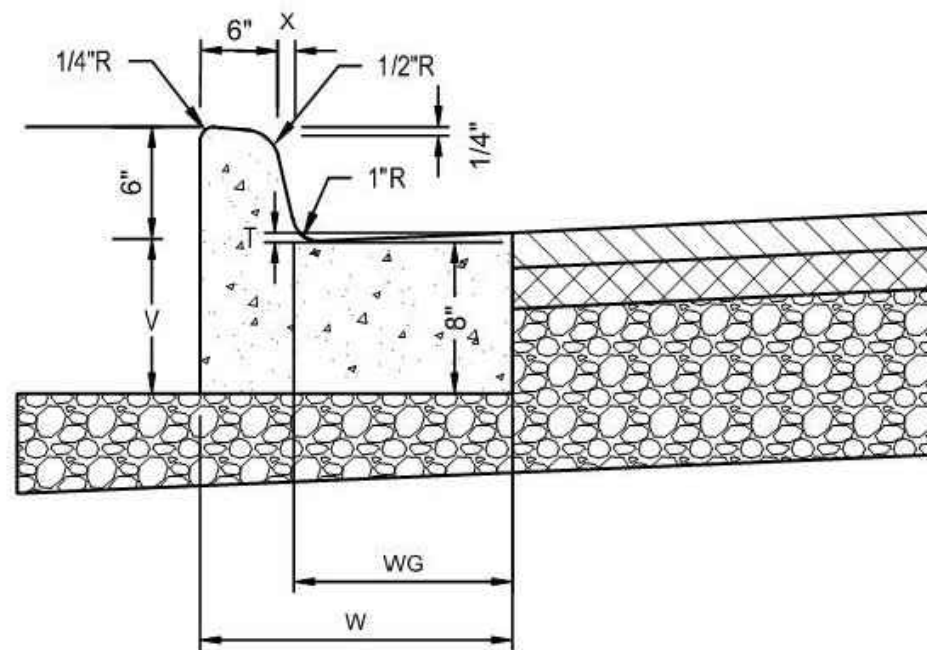
DATE: 10.27.16
REVISIONS

UTILITY TRENCH
REPAIR DETAIL
STD. DWG. RD-3



TYPE	TOTAL WIDTH W (in)	WIDTH OF GUTTER WG (in)	CURB OFFSET X (in)	VERTICAL DROP T (in)	VERTICAL DEPTH V (in)
*6 - 24	24	18	1	1.5	8.5
6 - 30	30	23.5	0.5	2	6.47

* 6-24 CURB TO BE USED ON MINOR RESIDENTIAL STREETS ONLY

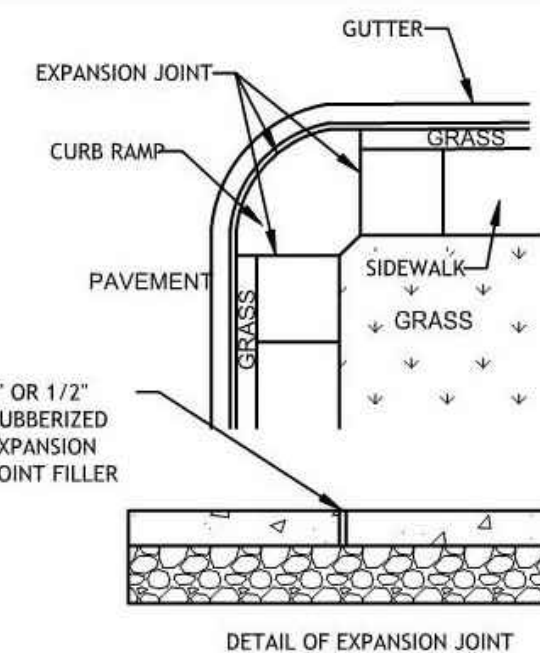


- GENERAL NOTES
1. 6-24 CURB & GUTTER TO BE USED WITH JOHN BOUCHARD & SON 3080
 2. 6-30 CURB & GUTTER TO BE USED WITH JOHN BOUCHARD & SON 3123
 3. FOR SPECIFICATIONS SEE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION, SECTION 702 - CEMENT CONCRETE CURB, GUTTER AND COMBINED CURB AND GUTTER.
 4. CONCRETE EXPANSION JOINT MATERIAL IS TO BE 3/4" PREMOLDED FIBER IN ACCORDANCE WITH SECTION 905 - JOINT MATERIALS OF THE TDOT STANDARD SPECIFICATIONS.
 5. CONTRACTION JOINTS ARE TO BE SPACED AT 10 FEET. THE SPACING OF 10 FEET MAY BE REDUCED FOR CLOSURES, BE NOT LESS THAN 6 FEET.
 6. EXPANSION JOINTS ARE TO BE PLACED AS FOLLOWS: AT TANGENT JOINTS OF CIRCULAR CURBS, BETWEEN CURBS AND ABUTTING RIGID OBJECTS, AT OTHER PLACES WHERE STRESSES MAY DEVELOP, SO AS TO LINE UP WITH PAVEMENT JOINTS WHERE THE ADJACENT PAVEMENT IS CONCRETE. MAXIMUM SPACING IS TO BE 100 FEET.
 7. CLASS "A" CONCRETE, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH SYNTHETIC MICROFIBER REINFORCEMENT.

N.T.S.

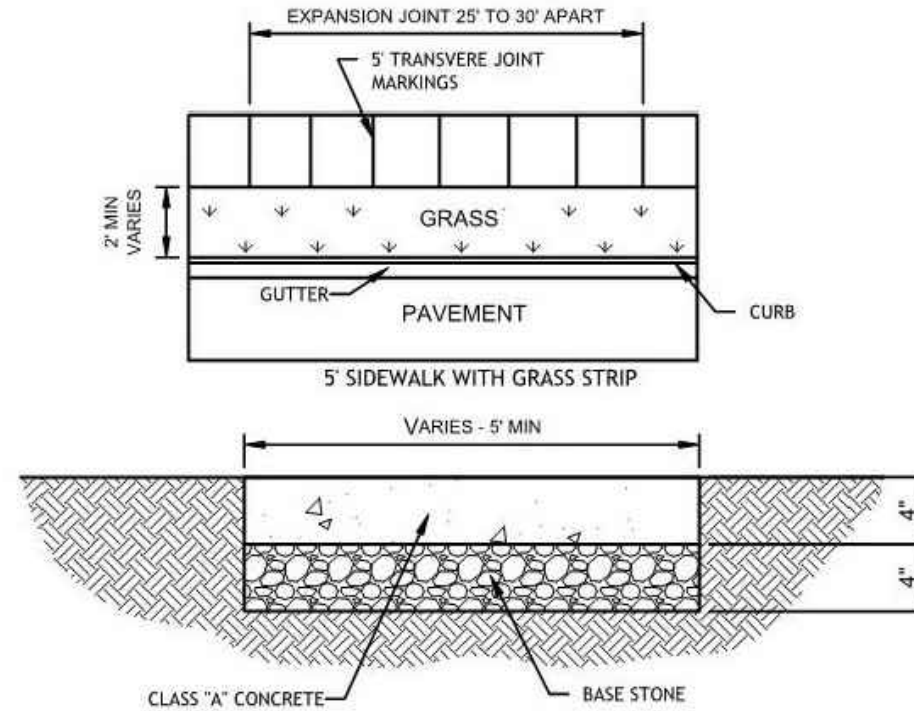
DATE: 10.27.16
REVISIONS

STANDARD 6" NON MOUNTABLE
CURBS & GUTTERS
STD. DWG. RP-1



DETAIL OF EXPANSION JOINT

- GENERAL NOTES
1. ONE-INCH JOINTS TO BE PLACED WHERE THE SIDEWALK IS IN CONTACT WITH CIRCULAR CURB, BUILDINGS AND RETAINING WALLS. HALF-INCH JOINTS TO BE USED IN OTHER LOCATIONS.
 2. ONE LONGITUDINAL JOINT MARKING REQUIRED ON SIDEWALK GREATER THAN 5' IN WIDTH.



- GENERAL NOTES
1. CLASS "A" CONCRETE, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH SYNTHETIC MICROFIBER REINFORCEMENT.
 2. ROOT BARRIERS REQUIRED ON BOTH SIDES OF GRASS STRIP AROUND TREES.

N.T.S.

DATE: 10.27.16
REVISIONS

TYPICAL 5' CONCRETE SIDEWALK
STD. DWG. RP-4



KIDDIE ACADEMY
BUSINESS PARK CIRCLE
GOODLETTSVILLE, TN 37072



DETAILS

C-907

ISSUE DATE

P.C. SUBMITTAL 06/30/2023
P.C. RESUBMITTAL 07/26/2023

DRAWN BY: L. SMITH
CHECKED BY: M. WEISZ

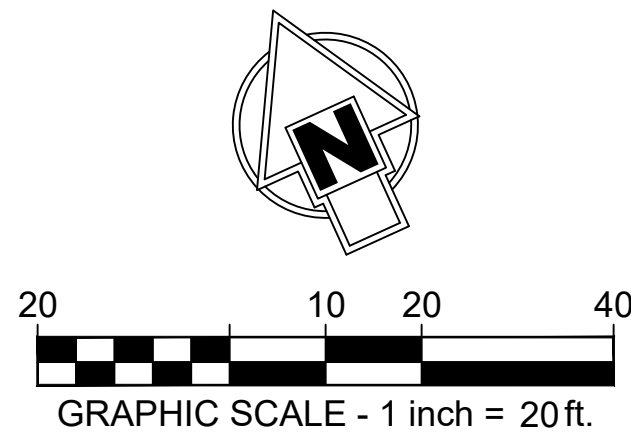
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Nashville, TN 37203
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GMC PROJECT #CNAS230004



Kevin Reff, RLA
KITA Sustainable Designs, LLC
3369 Reids Chapel Rd.
Campbellsville, KY 42718
(615) 469 - 1222 Ofc.
(615) 594 - 7333 Cell.
kreff@kitadesign.biz

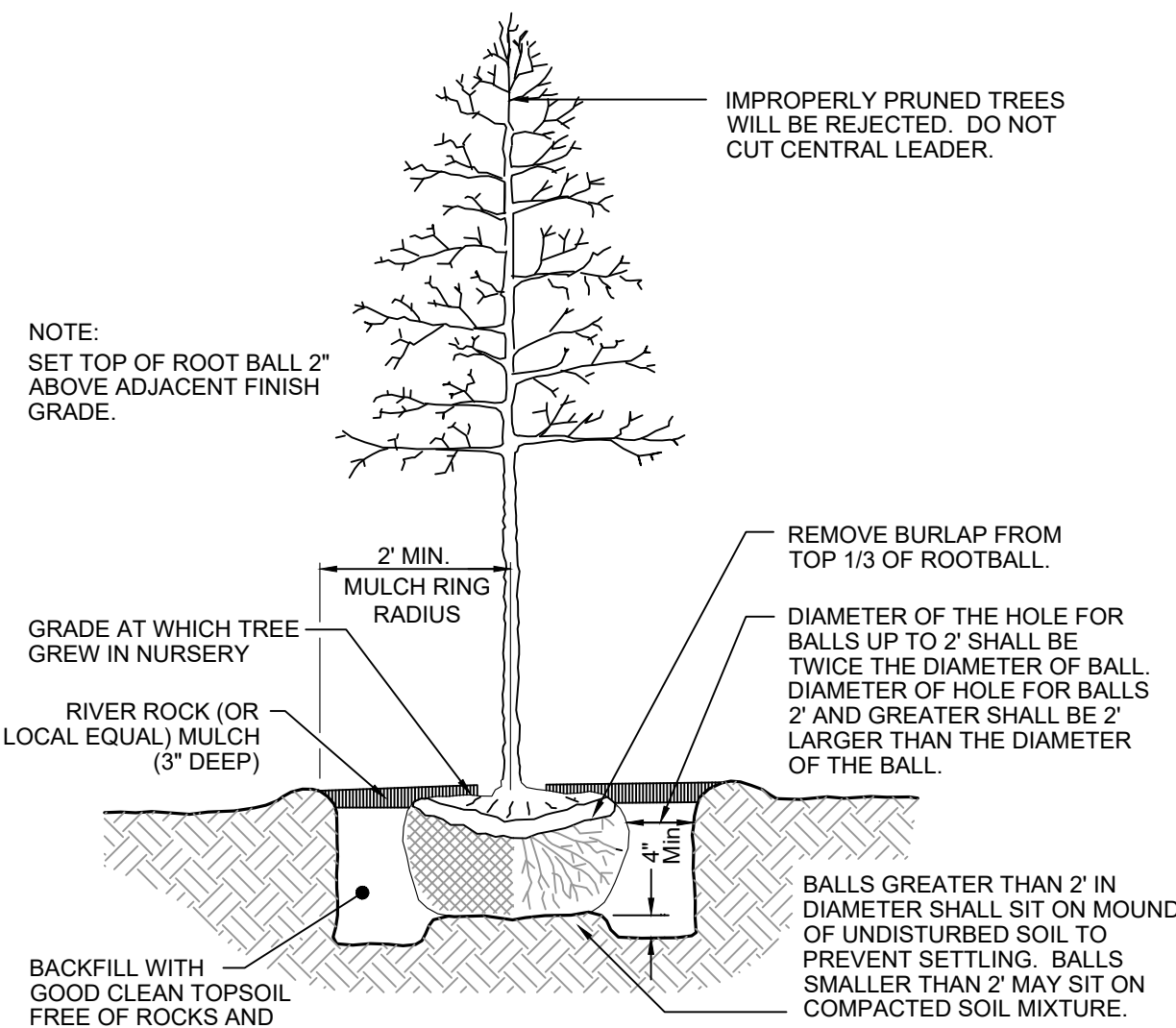
ALL PARKING ISLANDS ARE TO BE INSPECTED AND APPROVED BY THE CITY OF GOODLETTSVILLE PLANNING DEPARTMENT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL OR SOIL.



LANDSCAPE CALCULATIONS		
TOTAL SITE ACREAGE:	49,635 SF	(1.14 AC)
	REQUIRED	PROVIDED
SITE ACI: (ACREAGE X 70)	79.8 ACI	
EX. TREES TO REMAIN: (ACI)	-	0
REPLACEMENT TREES:	0	0
TREE BANK:	-	-
TOTAL ACI:	79.8 ACI	79 ACI
PARKING SPACES:	-	42
1 TREE / 15 SPACES:	3	3
FRONTAGE: BUSINESS PARK CIR. (73')		
SHRUBS: (1 PER 2 LF)	37	38
1 STREET TREE/30 LF	2.4	3
TOTAL TREES:		29
NATIVE TREES: (75% MIN.)	21.8	29
UNDERSTORY TREES: (20% - 50%)	27.6%	8
3" TREES (or larger) (50% MIN.)	14.5	21

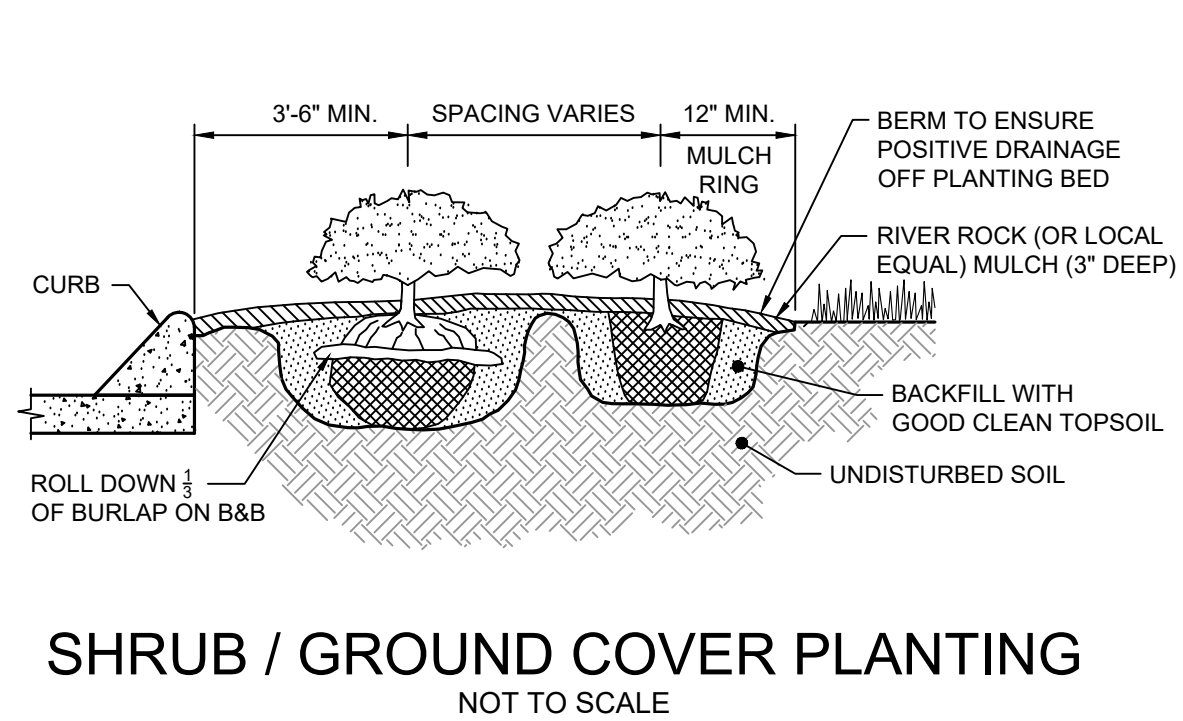
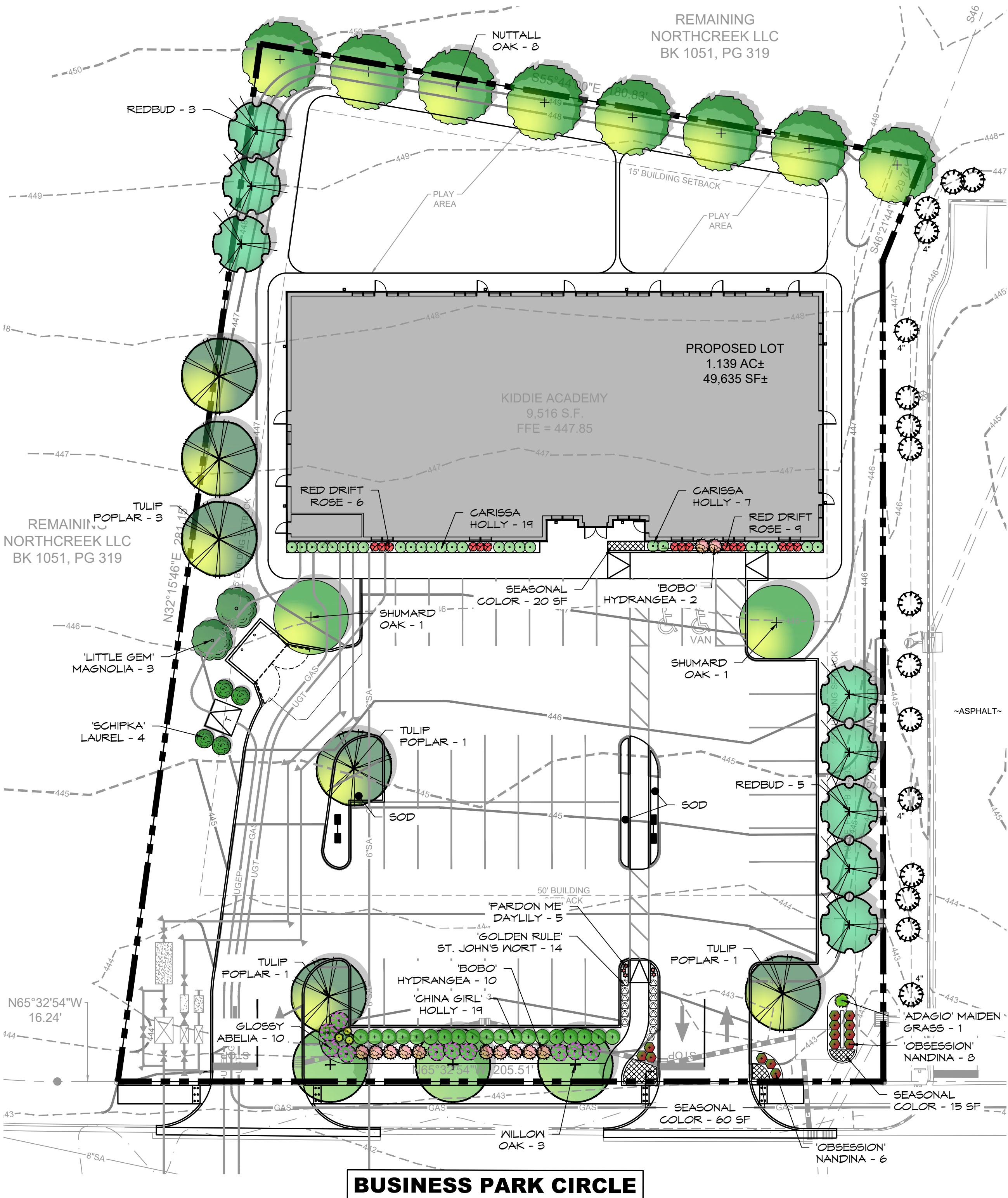
LANDSCAPE NOTES:

- WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMIT OF GRADING.
- THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE "A" QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1; LATEST EDITION, FOR SIZE AND QUALITY.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA LANDSCAPE DESIGN (615) 469-1222.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL DISTURBED AREAS MUST BE STABILIZED WITH SOD OR A PERMANENT STAND OF GRASS AT THE TIME A CERTIFICATE OF OCCUPANCY (CO) IS REQUIRED. ALL SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH SOD.
- SOIL USED FOR PLANTING SHALL CONSIST OF (5) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
A. SAND SHALL BE CLEAN MASONRY SAND.
B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TRIFLORAL OR AN APPROVED EQUAL SHALL BE USED.
- ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
- PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
- THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
- ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING AND SEEDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SEED OR SOD AREAS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
- SODDED AREAS SHALL HAVE NO BARE AREAS. SEEDING AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURF GRASS SPECIES IS ESTABLISHED. SEE CIVIL SHEETS FOR SEEDING, MATTING OR SODDING AREAS.
- CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
- IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
- PLANTING DATES
SPRING: MARCH 15 - APRIL 15
FALL: OCTOBER 1 - NOVEMBER 30
- THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
- CONTRACTOR TO IRRIGATE ALL NEW LANDSCAPE PLANTINGS AND LAWN AREAS WITH AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM, ENSURING HEAD-TO-HEAD COVERAGE. IRRIGATION TO BE DESIGN-BUILD.
- IRRIGATION TO HAVE A SEPARATE METER.
- GENERAL CONTRACTOR TO COORDINATE AND BE RESPONSIBLE FOR WATERING ALL PLANTS AND SEEDING AREAS AFTER PLANTING UNTIL IRRIGATION SYSTEM IS OPERABLE.

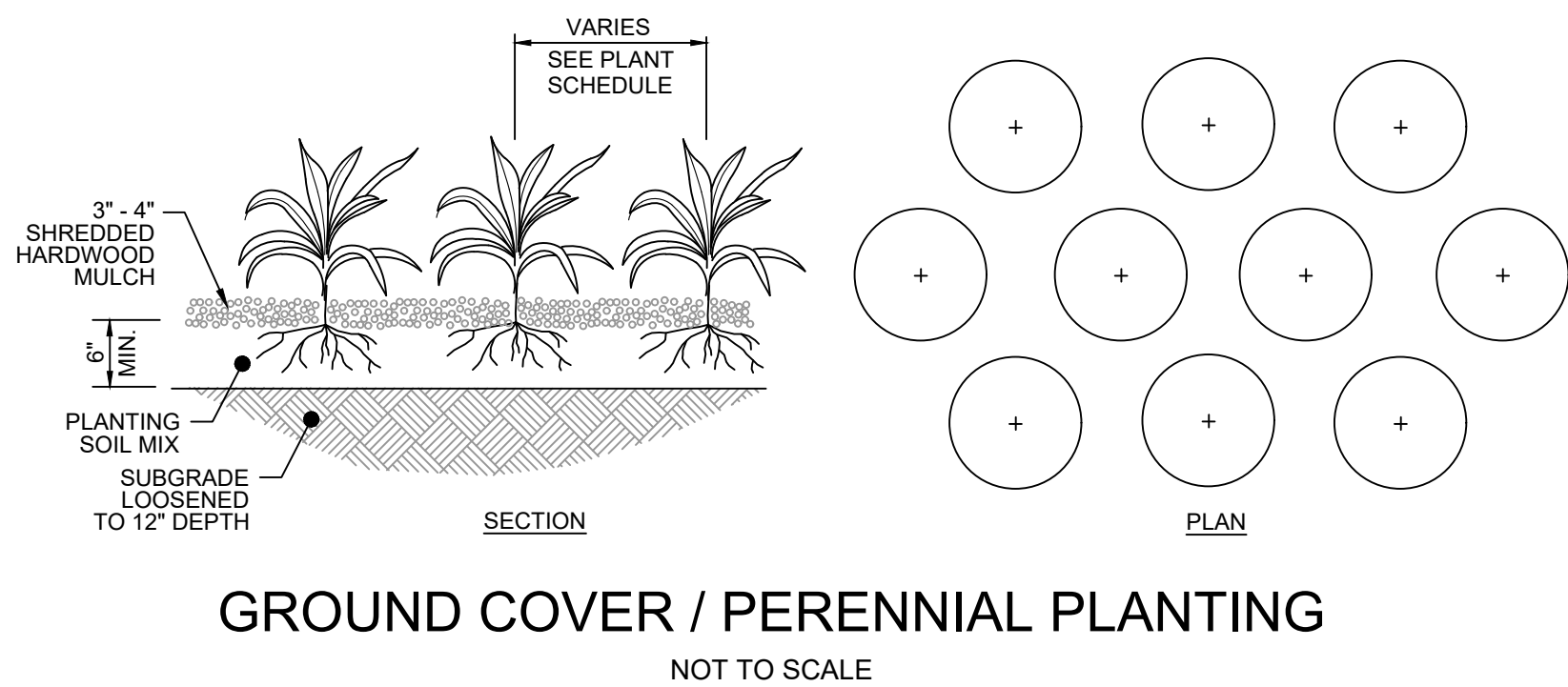


DECIDUOUS TREE PLANTING
NOT TO SCALE

PLANT SCHEDULE						
QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	TRUNK	NATIVE	COMMENTS
CANOPY TREES						
2	'Little Gem' Magnolia	Magnolia grandiflora 'Little Gem'	8' Min.	3" Cal.	YES	B&B
8	Nuttall Oak	Quercus texana	12' - 14'	3" Cal.	YES	B&B
2	Shumard Oak	Quercus shumardii	12' - 14'	3" Cal.	YES	B&B
6	Tulip Poplar	Liriodendron tulipifera	12' - 14'	3" Cal.	YES	B&B
3	Willow Oak	Quercus phellos	12' - 14'	3" Cal.	YES	B&B
21	TOTAL - CANOPY TREES					
UNDERSTORY/COLUMNAR TREES						
8	Redbud	Cercis canadensis	8' - 10'	2" Cal.	YES	B&B
8	TOTAL - UNDERSTORY TREES					
29	TOTAL - ALL TREES					
SHRUBS						
12	'Bobo' Hydrangea	Hydrangea paniculata 'ILVOBO'	12" - 18"	3 Gal.		Container
26	Carissa Holly	Ilex cornuta 'Carissa'	18" Min.	3 Gal.		Container
19	'China Girl' Holly	Ilex x meserveae 'Mesog'	24" Min.	5 Gal.		Container
10	Glossy Abelia	Abelia grandiflora	18" Min.	3 Gal.		Container
14	'Golden Rule' St. John's Wort	Hypericum calycinum 'NCHCI'	-	3 Gal.		Container
14	'Obsession' Nandina	Nandina domestica 'Seika'	18" Min.	3 Gal.		Container
4	Schipka Laurel	Prunus laurocerasus 'Schipkaensis'	30" Min.	5 Gal.		Container
99	TOTAL - SHRUBS					
GRASSES, PERENNIALS AND GROUND COVER						
1	'Adagio' Maiden Grass	Miscanthus sinensis 'Adagio'	24"	3 Gal.		
3	Karl Foerster Grass	Calamagrostis x acutiflora 'Karl Foerster'		1 Gal.		
5	'Pardon Me' Daylily	Hermocalis x 'Pardon Me'	8"	1 Gal.		
15	Red Drift Rose	Rosa 'Meigalpio'		3 Gal.		
80 sf	Seasonal Color	Various annual flowers		4" Pots		Change plants 3x - 4x per year
TURF						
-	Hybrid Fescue Seed/Sod	Drought tolerant fescue blend				



SHRUB / GROUND COVER PLANTING
NOT TO SCALE



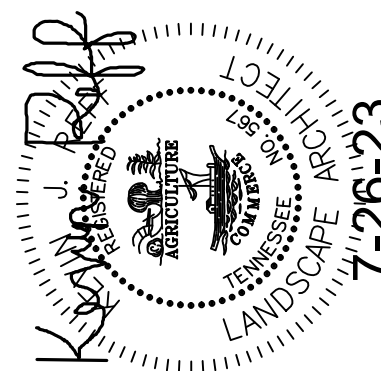
GROUND COVER / PERENNIAL PLANTING
NOT TO SCALE



3310 West End Avenue, Suite 420
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T 615.333.7200
GMCNETWORK.COM

ISSUE DATE	
P.C. SUBMITTAL	06/30/2023
P.C. RESUBMITTAL	07/25/2023
DRAWN BY: L. SMITH	
CHECKED BY: M. WEISZ	

KIDDIE ACADEMY
BUSINESS PARK CIRCLE
GOODLETTSVILLE, TN 37072



LANDSCAPE PLAN

L-1.1

GMC PROJECT #CNAS230004



www.jarmelkizel.com

TN State Board Of Architects Authorization No. 3696
TN State Board Of Engineers & Land Surveyors Authorization No. 8698

NO.	DATE	DESCRIPTION	INT
1	07/24/23	PLANNING & SITE REVIEW	MB

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JEROME LESLIE EBEN, FAIA, PP
GERARD P. GESARIO, PE
ANNA KHARINA, AIA
FREDERICK KINCAID, AIA
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KAROLINA PODKANOWICZ, AIA
MICHAEL D. SAN BUENAVENTURA, PE
CHERYL SCHWEIKER, AIA
MICHAEL J. VORLAND, AIA

SD-2.1

MATTHEW B. JARMEL, AIA, MBA
TN LIC 103850 EXP. 9/30/20



SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"



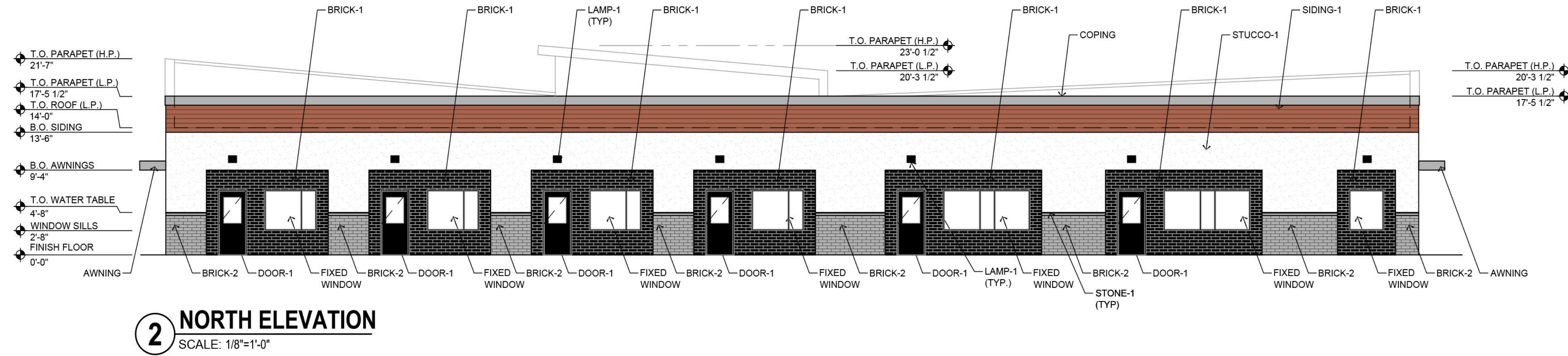
SCALE: 1/8"=1'-0"

NORTH ELEVATION:

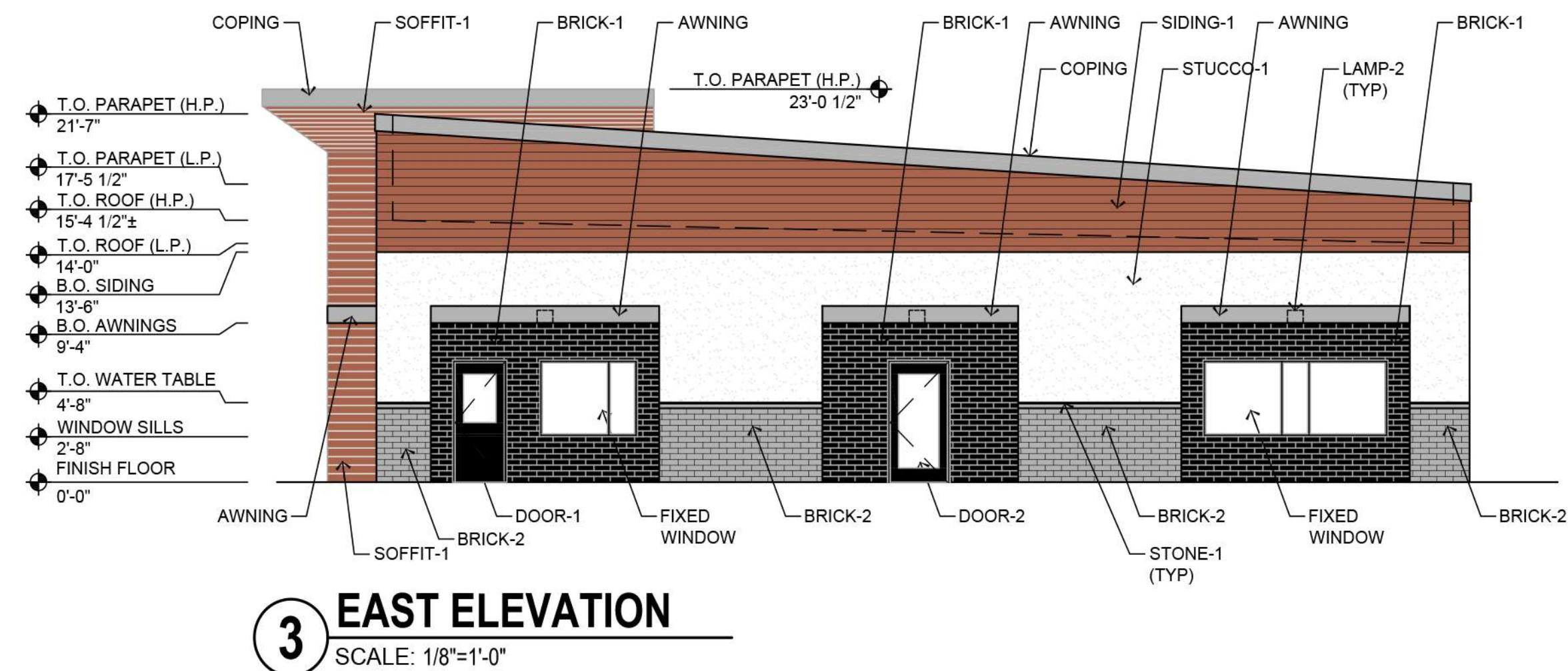
EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE / TYPE	FINISH / COLOR
STOREFRONT	KAWNEER	TRIFAB 451T / W/ 350T MEDIUM STILE - PER DOOR SCHEDULE	POWDER COAT COLOR: BLACK
DOOR-1	-	36" WITH HALF GLASS PER DOOR SCHEDULE	FACTORY PRIMED FIELD PAINTED BLACK CLEAR, TEMPERED GLAZING
DOOR-2	-	42" WITH FULL GLASS PER DOOR SCHEDULE	FACTORY PRIMED FIELD PAINTED BLACK CLEAR, TEMPERED GLAZING
FIXED WINDOW	SIMONTON	CONTRACTOR SERIES PER WINDOW SCHEDULE	EXTERIOR COLOR: BLACK INTERIOR COLOR: WHITE CLEAR, TEMPERED GLAZING
BRICK-1	GLEN-GERY	MODULAR RUNNING BOND	BLACK MORTAR COLOR: GREY
BRICK-2	GLEN-GERY	MODULAR RUNNING BOND	GREY MORTAR COLOR: WHITE
STONE-1	MODERN PRECAST	WATER TABLE 3 1/2" X 3 1/2" WITH CHAMFER EDGE	NATURAL GRAY
SIDING-1	NICHIIHA	VINTAGEWOOD	REDWOOD
SOFFIT-1	NICHIIHA	VINTAGEWOOD	REDWOOD
STUCCO-1	DRYVIT	SANDPEBBLE FINISH WITH REVEALS	COLOR: OYSTER SHELL (456)
ROOF-1	PAC-CLAD	TITE-LOC PLUS	COLOR: SLATE GRAY
COPING	-	BREAK METAL	COLOR: SLATE GRAY
AWNING		ALUMINUM	COLOR: SLATE GRAY
LAMP-1	-	PER LIGHTING SCHEDULE	BLACK
LAMP-2	-	PER LIGHTING SCHEDULE	CLEAR ANODIZED
KNOX	KNOX BOX	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGED DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 1 BELOW)
EXTERIOR FINISH SCHEDULE NOTES: 1. G.C. SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING AND INSTALLATION. 2. ALL GLASS SHALL BE CLEAR, TEMPERED, SAFETY GLASS. REFER TO DOOR AND WINDOW SCHEDULES.			



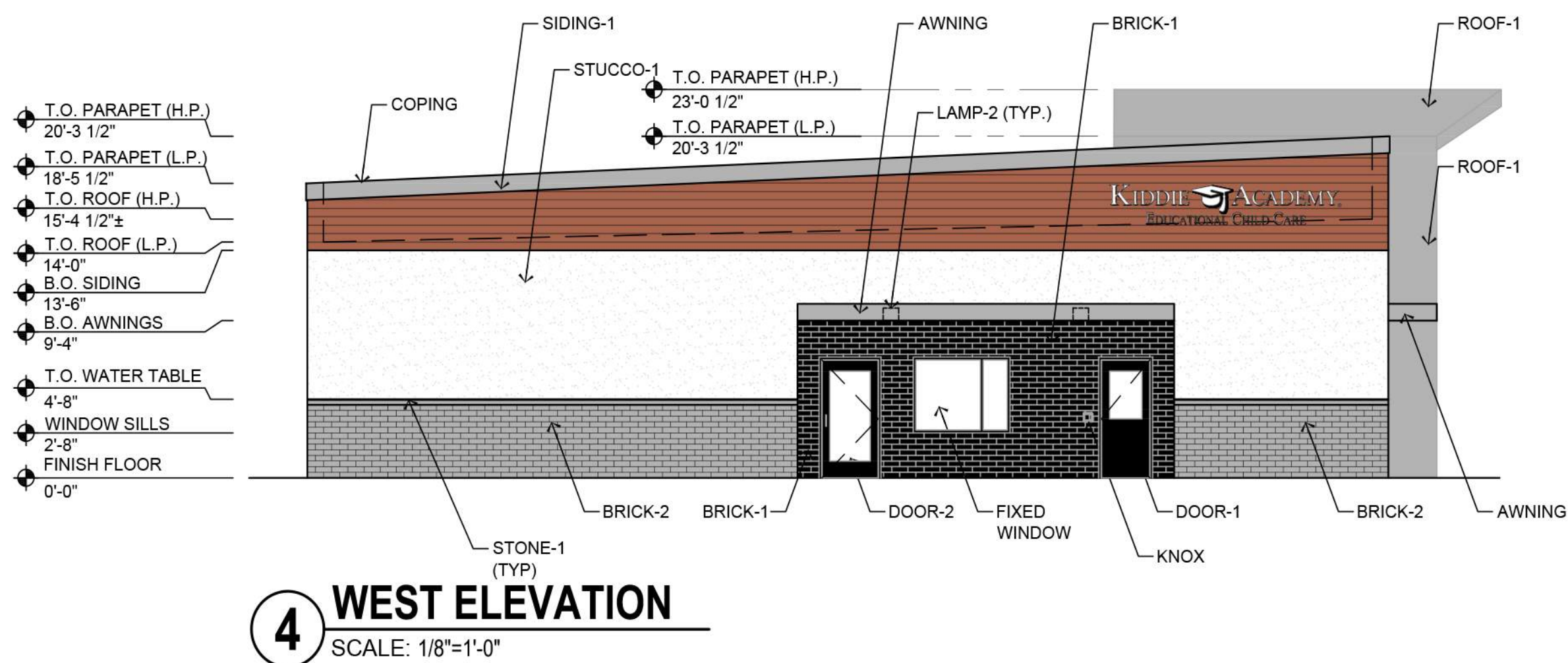
1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 EAST ELEVATION
SCALE: 1/8"=1'-0"



4 WEST ELEVATION
SCALE: 1/8"=1'-0"

MATERIAL CALCULATIONS			
NORTH ELEVATION:			
TOTAL AREA:	2,517 SQ. FT.		
MASONRY:	758 SQ. FT.	30%	
STUCCO:	826 SQ. FT.	33%	
FAUX WOOD SIDING:	430 SQ. FT.	17%	
FENESTRATION:	360 SQ. FT.	14%	
TRIM/OTHER:	143 SQ. FT.	6%	
EAST ELEVATION:			
TOTAL AREA:	1,309 SQ. FT.		
MASONRY:	361 SQ. FT.	27.5%	
STUCCO:	365 SQ. FT.	28%	
FAUX WOOD SIDING:	337 SQ. FT.	25.5%	
FENESTRATION:	129 SQ. FT.	10%	
TRIM/OTHER:	117 SQ. FT.	9%	
SOUTH ELEVATION:			
TOTAL AREA:	2,839 SQ. FT.		
MASONRY:	1,027 SQ. FT.	36%	
STUCCO:	710 SQ. FT.	25%	
FAUX WOOD SIDING:	591 SQ. FT.	21%	
FENESTRATION:	290 SQ. FT.	10%	
TRIM/OTHER:	221 SQ. FT.	8%	
WEST ELEVATION:			
TOTAL AREA:	1,265 SQ. FT.		
MASONRY:	328 SQ. FT.	26%	
STUCCO:	460 SQ. FT.	36.5%	
FAUX WOOD SIDING:	293 SQ. FT.	23%	
FENESTRATION:	78 SQ. FT.	6%	
TRIM/OTHER:	106 SQ. FT.	8.5%	

EXTERIOR MATERIAL SCHEDULE			
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ISSUE

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1	07/24/23	PLANNING & SITE REVIEW	MBJ

REVISION

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RICHARD A. JARMEL, PE

IRWIN H. KIZEL, AIA, PP

ARCHITECTS & ENGINEERS

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MICHAEL J. VORLAND, AIA

Project:

KIDDIE ACADEMY

BUSINESS PARK CIRCLE
GOODLETTSVILLE, TN

Project Number:

KATN23-144

Scale:

AS NOTED

Drawn By:

CD/JDB

Approved By:

JDB

Drawing Name:

COLOR
SCHEMATIC ELEVATIONS

Drawing Number:

SD-2.2

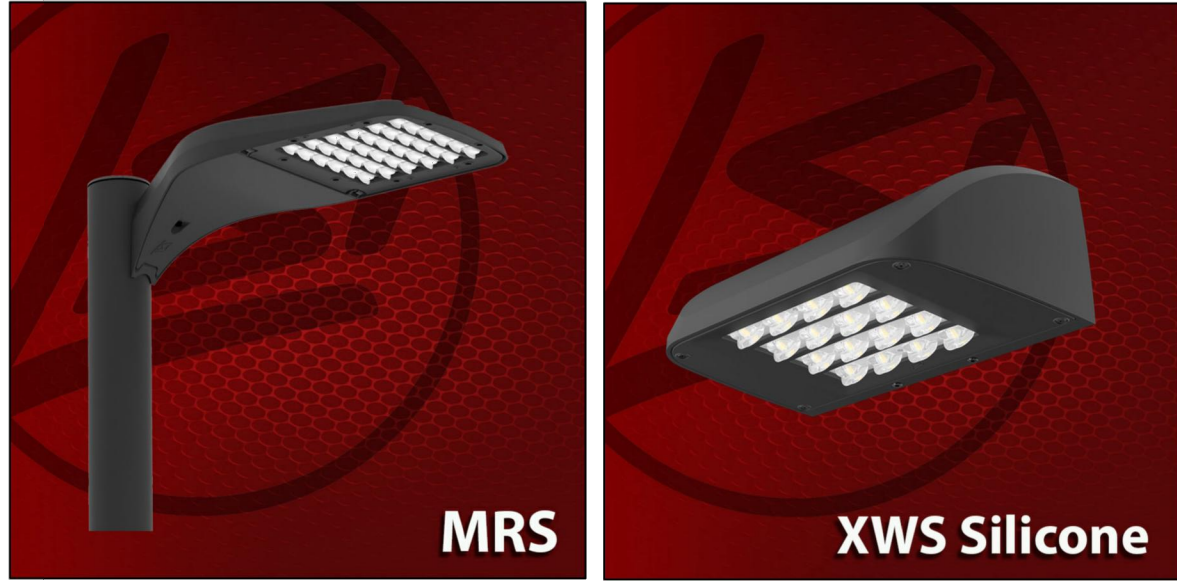
Initial Date: 07/24/23

ARCHITECT OF RECORD

MATTHEW B. JARMEL, AIA, MBA

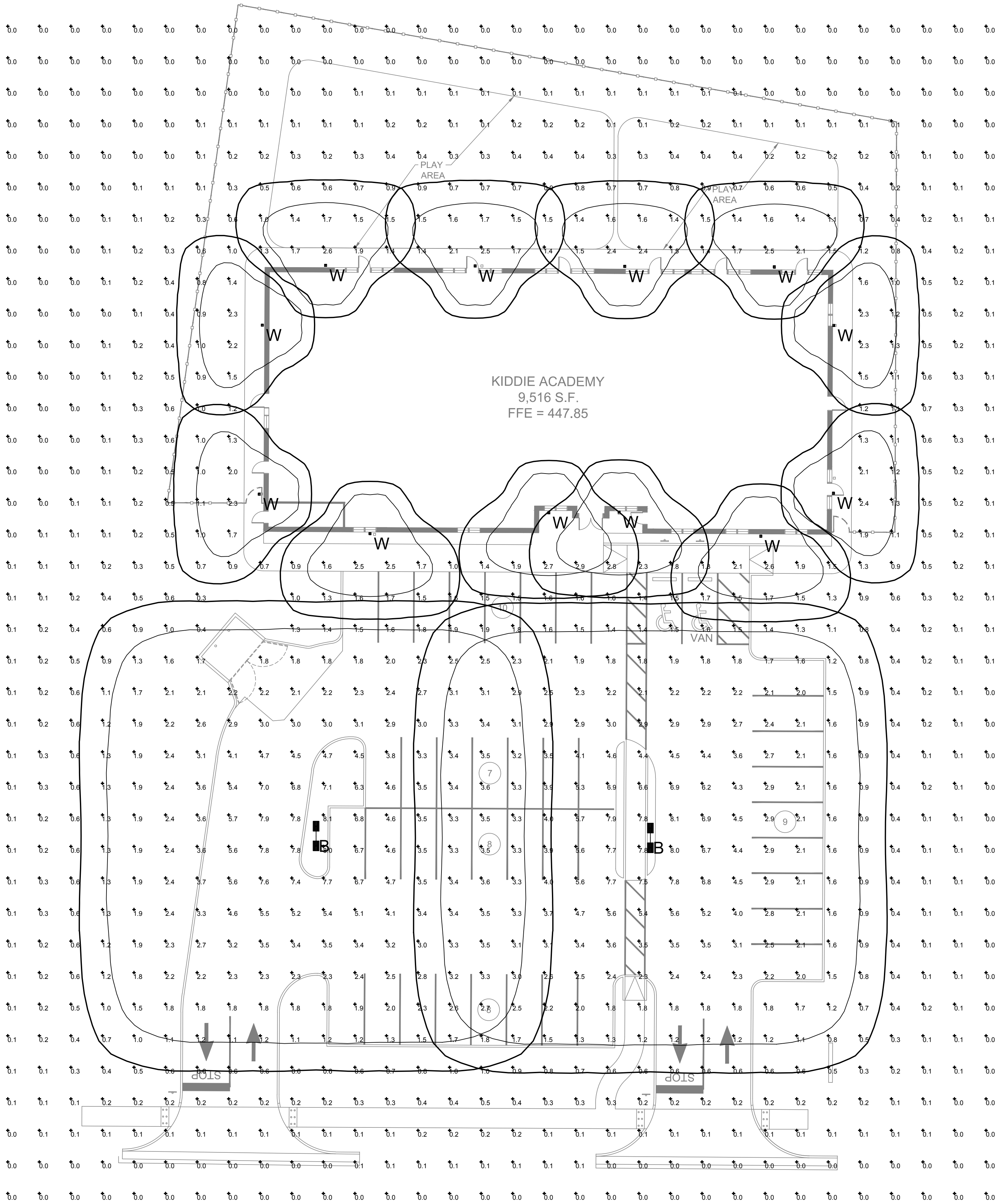
TN LIC. 103850 EXP. 9/30/20

HDRAWINGS KIDDIE ACADEMY TENNESSEE KATN23-144 - KIDDIE ACADEMY GOODLETTSVILLE TN 3099 BUSINESS PARK CIRCLE SPACE PLANS KATN23-144 SD-2 ELEVATIONS.DWG JBOYER PLOTTED: 7/26/2023 12:51 PM



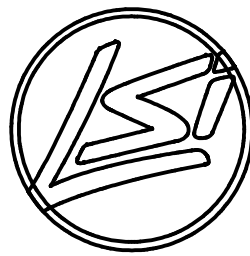
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ GRADE	Illuminance	Fc	1.27	8.1	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	3.26	8.1	0.2	16.30	40.50

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
	2	B	D180°	MRS-LED-18L-SIL-SW-40-70CRI	20'	1.000	1.000	35272	270
	12	W	Single	XWS-LED-02L-SIL-FT-40-70CRI	10'	1.000	1.000	2015	13



1 PHOTOMETRICS PLAN

SCALE: 1"= 16'



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TN LIC 103850

EXP. 9/30/20