



June 2, 2025

Planning Commission  
5:00 PM

City Hall - Massie Chambers

Agenda:

Call to Order

Approval of Agenda

1. Approval of June 2, 2025 Agenda

Approval of Meeting Minutes

2. Approval of May 5, 2025 Meeting Minutes

Individual Review of Regular Agenda Items

3. Public Forum on Planned Related Topics
4. Dry Creek LLC, Cedar Side at Dry Creek Section Two (2): Requests performance bond one-year extension and reduction
5. Sky Pediatric Dentistry/ Arnold Consulting Engineering Services, Inc: Request site plan approval for a 6,711 square feet dentist office on 1.63 acres at 3106 Business Park Circle. The property is referenced as Sumner County Tax Map/Parcel# 143J F 009.02 and is zoned GOPUD, General Office Planned Unit Development. Property Owner- 4 X 2 LLC (5-25)

DISCUSSION ITEMS:

6. Planning Commission Application Fees Review- New State Law
7. *Interchange Overlay Property Uses- 912 Conference Drive and 705 Rivergate Parkway*

For more information regarding this agenda, please contact the city recorder by email at:

[amccormick@goodlettsville.gov](mailto:amccormick@goodlettsville.gov)

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**CITY OF GOODLETTSVILLE  
MUNICIPAL PLANNING COMMISSION  
*Revised* MEETING AGENDA**

**MONDAY JUNE 2, 2025 5:00 PM**

- ITEM#1      Approval of June 2, 2025 Agenda
- ITEM#2      Approval of May 5, 2025 Meeting Minutes
- ITEM#3      Public Forum on Planned Related Topics
- ITEM#4      Dry Creek LLC, Cedar Side at Dry Creek Section Two (2): Requests performance bond one-year extension and reduction.
- ITEM#5      Sky Pediatric Dentistry/ Arnold Consulting Engineering Services, Inc: Request site plan approval for a 6,711 square feet dentist office on 1.63 acres at 3106 Business Park Circle. The property is referenced as Sumner County Tax Map/Parcel# 143J F 009.02 and is zoned GOPUD, General Office Planned Unit Development. Property Owner- 4 X 2 LLC (5-25)

**DISCUSSION ITEMS**

- Planning Commission Application Fees Review- New State Law
- Interchange Overlay Property Uses- 912 Conference Drive and 705 Rivergate Parkway*

**CITY OF GOODLETTSVILLE  
MUNICIPAL PLANNING COMMISSION  
STAFF REPORT**

**MONDAY JUNE 2, 2025 5:00 PM**

***Comprehensive Land Use Plan Review Meeting#3 Following the Planning Commission meeting at 6pm***

**ITEM#1      Approval of June 2, 2025 Agenda**

**STAFF NOTES:**

The previous edition of agenda included an agenda item for O Hardaway Drive for six (6) residential units. The agenda item was subject to the City Commission approval of the property rezoning request. The City Commission at the May 8, 2025 meeting denied the rezoning request.

**MOTION OPTIONS:**

1.      Approve the agenda as listed
2.      Approve with agenda amendments as determined by the Planning Commission

**ITEM#2      Approval of May 5, 2025 Meeting Minutes**

**STAFF NOTES:** N/A

**MOTION OPTIONS:**

1.              Approve as listed
2.              Approve with minute amendments as determined by the Planning Commission

**ITEM#3      Public Forum on Planned Related Topics**

**STAFF NOTES:** N/A

**MOTION OPTIONS:** N/A

**ITEM#4      Dry Creek LLC, Cedar Side at Dry Creek Section Two (2):** Requests performance bond one-year extension and reduction.

**STAFF NOTES**

The current \$ 225,000 performance bond expires July 2, 2025. The project developer has requested a bond reduction to \$ 164,000 and a one-year bond extension. The requested bond reduction amount is based on the estimated cost of remaining improvements. The City's Public Works Department requested additional bond funds to account for any construction damage to the roadway asphalt binder layer, curbs, and sidewalks. The revised bond amount including

the Public Works requested additional bond funds would be \$ 190,000.

The project phase includes sixty-two (62) attached townhouse type units. Thirty-six (36) of the units are completed and eleven (11) units are currently under construction. The property phase unit completion is at fifty-eight (58%) percent. At the Planning Commission's 2024 bond review, the project phase unit completion was at twenty-two (22%) percent. The subdivision plat was recorded August 2023.

The remaining project items include final street paving and striping, sidewalks, finish grading and bio retention storm water quality feature construction maintenance and finish work, and sewer line final testing.

**MOTION OPTIONS:**

1. Approval of the requested bond reduction and one-year bond extension at \$ 190,000. The amount includes the applicant's requested \$ 164, 000 bond amount and the City's Public Works Department requested additional bond amount.
2. Approval of one-year bond extension including an additional two (2%) inflation to the existing bond amount at \$ 229,500.
3. Approval of one-year bond extension at amount determined by Planning Commission based on information provided during meeting
4. Denial of one-year bond extension to direct staff to notify property owner to complete the remaining items prior to bond expiration date or request payment on bond to prioritize and complete the remaining project improvements

*Staff recommendation to be provided at meeting*



**ITEM#5** **Sky Pediatric Dentistry/ Arnold Consulting Engineering Services, Inc:**  
Request site plan approval for a 6,711 square feet dentist office on 1.63 acres at 3106 Business Park Circle. The property is referenced as Sumner County Tax Map/Parcel# 143J F 009.02 and is zoned GOPUD, General Office Planned Unit Development. Property Owner- 4 X 2 LLC (5-25)

**STAFF NOTES:**

Due to the location of the project in the Mansker Creek drainage basin, the project only includes a storm water quality design. The City’s engineer consultant is currently reviewing the revised submittal and any major outstanding issues will be discussed at the meeting. The plan information includes the building exterior design and exterior wall colors including the primary building material of brick on fifty-five (55%) percent of the exterior walls.

**STAFF STIPULATION:**

Revised submittal plans addressing the City’s consultant engineers plan review comments to be approved by city staff in coordination with the consultant engineer prior to City land disturbance (grading) permit issuance.

**MOTION OPTIONS:**

1. Approve the site plan that meets the City’s Zoning Ordinance and Design Guidelines with the listed staff stipulation including any additional items determined by the Planning Commission
2. Deny the site plan based on the Planning Commission’s determination during the meeting that the site plan does not meet the City’s Zoning Ordinance and Design Guidelines and define the items needed to revise the plan to meet the City’s Zoning Ordinance and Design Guideline site plan requirements
3. Defer request to include additional information as determined by the Planning Commission

*Staff recommendation to be provided at meeting*



## DISCUSSION ITEMS

### **Planning Commission Application Fees Review- New State Law**

The State House and Senate recently adopted a new law requiring cities and counties to provide a basis for any plan review, inspection, and permit type fee. The Community Development Department in 2022 adopted the below listed section of the fee schedule. The fee schedule also included building, fire, sign, and land disturbance permit fees. The Item#1 fee is for any site plan, subdivision, plat, rezoning request, master plan that requires Planning Commission review. The fee is based on staff's time preparing the development plan review process and any required adjacent property owners mailed notice for the Planning Commission's public forum and any associated signage required. The Item#2 fee is for any development plan review that does not require Planning Commission review. Examples would be two (2) lot subdivision plats and minor site plans.

Items#3 and #4 are to cover any City consultant engineer plan reviews required. The \$ 1,000 fee is based on example reviews that included both the initial and follow-up revised plan review fees by the consultant. The fee also includes the typical calls with the applicants and City staff and consultant to discuss the project preliminary design and to go over any plan review comments. Also any meeting attendance required by the City's consultant engineer would be included. The Item#5 fee would be for any requested city staff site inspection not associated with a project plan review application or permitted project. Items#6 to Item#9 are application fees for the City's Board of Zoning and Sign Appeals. The fees are to cover the mailed adjacent property owner notices and signage required for the agenda public hearings.

The other items are for copies of ordinances and map and requested zoning information. These fees are rarely collected since the referenced ordinances and maps are available on the City’s website. The City only charges the Item#14 fee only when the requested zoning information requires staff to research project files for specific information.

**FEE SCHEDULE**  
(Revised January 2022)

**Planning Office Permits and Fees:**

1. All development plans and applications requiring Planning Commission Review \$ 600
2. All development plans and applications that do not require Planning Commission Review (Staff) \$ 300
3. All development plans requiring consultant engineering plan review \$ 1,000 in addition to fee required with item one (1)
4. All development plans requiring consultant engineering plan review \$ 500 in addition to fee required with item two (2)
5. Field Inspection \$50 / hr. / inspector with 1 hr. / inspector minimum
6. Zoning Ordinance Variance \$200
7. Sign Ordinance Variance \$200
8. Temporary Use Permit \$200
9. Conditional Use Permit \$200
10. Zoning Ordinance Book \$ 35
11. Sign Ordinance Book \$ 15
12. Subdivision Regulations Book \$ 25
13. Zoning Map \$ 25
14. Zoning Verification Letter \$ 25

**-Interchange Overlay Property Uses- 912 Conference Drive and 705 Rivergate Parkway**

The properties at 912 Conference Drive (former Arby's) and 705 Rivergate Parkway (former Impact Church) are in the INT, Interchange Overlay. Staff has received a request to expand the current permitted uses including restaurants, convenience markets with or without fuel, and hotels to include additional uses. The proposals would require either amending the Zoning Ordinance to include the additional permitted uses or altering the INT Interchange overlay maps to remove the referenced properties and adjacent areas.

**912 Conference Drive (INT-RED DASH)**



**705 Rivergate Parkway (INT-RED DASH)**



**Per applicant's request for 912 Conference Drive**

*Unfortunately, we were unaware of the Interchange Overlay District and the ramifications it has on this property for redevelopment now that Arby's has closed its business.*

*The size of the property is limiting as well after a part of the property being taken for expansion of Conference Drive. Presently it is only 0.8 acres approximately which really limits the possible users that can fit on this property.*

*Below is our understanding of the allowable uses and because of the size of the parcel would be limited to a restaurant and drive in restaurant or a wireless communications facility because a fuel and service station and a hotel or motel could not fit.*

*(7)Interchange overlay district. This district is intended to provide for uses which are compatible only with highway travel and the accommodation of all-night and rest-stop services.(a)Application. The use provisions of the interchange overlay district shall be applied to those parcels and lots within the commercial base zoning and PUD districts as indicated as being within the INT on the official zoning map and shall control the use of property within the interchange overlay district.(b)Use provisions. Within the interchange overlay district, only the following uses shall be permitted:(i)Fuel and service stations.(ii)Hotels and motels.(iii)Restaurants and drive-in restaurants.(iv)Wireless communications facilities.*

*We would like to request that the following uses be allowed to expand the possibilities for this property and to make it productive again.*

*Requested Uses:*

1. *General Retail Trade-Example: Verizon Store*
2. *Personal Services: EX: Salon, Fed Ex, or Heartland Dental*
3. *Financial, Consultative and Administrative Services. EX: Chase Bank or H & R Block*
4. *Auto Servicing including only lubricating services and replacement items. EX: Valvoline Oil Change*

*(1-4 are requested to be in addition to the current permitted uses 5-8)*

5. *Fuel and service stations.*
6. *Hotels and motels.*
7. *Restaurants and drive-in restaurants.*
8. *Wireless communications facilities.*

**Per applicant's request for 705 Rivergate Parkway**

*We would like to see about use of a small conference center/ business meeting / event space. We feel this maybe a good venture for our city and hope our Travel and Tourism department would be open to assisting us.*

OFFICIAL MINUTES OF THE MEETING  
GOODLETTSVILLE PLANNING COMMISSION

May 5, 2025

Goodlettsville City Hall

5:00 p.m.

Massie Chambers-Auditorium

**Present:** Chairman Scott Trew, Commissioner Cisco Gilmore, Grady McNeal, Jeff Parnell, and Judy Wheeler.

**Absent:** Billy Barnfield and Mayor Rusty Tinnin

**Also Present:** Addam McCormick (Staff), Tim Ellis-City Manager, Russell Freeman-City Attorney, Jenni Lester (Staff), and Sharon Reed (Staff).

Trew called the meeting to order and offered prayer.

**Item #1 Approval of Agenda:** Wheeler made a motion to approve the agenda, Parnell seconded the motion. The motion passed.

**Item #2 Approval of April 7, 2025 Meeting Minutes:** McNeal made a motion to approve the minutes of the April 7, 2025 meeting, Wheeler seconded the motion. The motion passed.

**Item #3 Trew opened the Public Forum on Planning Related Topics.**

No one requested to speak at the meeting.

Parnell made a motion to close the public forum, seconded by McNeal. The motion passed.

**The Public Forum was closed.**

**AGENDA**

**Item #4 Clover Blend Estates Section One Lot 144A and Clover Bend Estates Section Two Lots 57 and 58 Re-subdivision/Bruce Rainey and Associates:** Requests final subdivision plat amendment to alter the lot lines and dimensions of three (3) existing lots on 4.19 acres at 615, 617, and 0 Carol Ann Road. The properties are referenced as Sumner County Tax Map 143G Group B Parcels# 01, 02, and 03.01 and are zoned R-25, Low Density Residential. Property Owners: David and Karen Wrye (3-25).

**Item Representative: Bruce Rainey, 900 S Broadway, Portland, TN**

**Staff Discussion:**

- The proposal is to alter three (3) existing lots.
- The existing two (2) lots on Carol Ann Road are being combined to one larger lot and a fifty (50') feet roadway frontage section for the proposed back lots 57A and 57B.
- The existing 2.23-acre land locked lot behind the Carol Ann Drive properties is being divided into two (2) lots (57A and 57B).
- Except for the adjacent 3.1-acre property on Grace Drive, the average lot size of the ten (10) adjacent

frontage properties along Carol Ann and Grace Drive is 0.97 acres.

-The proposed subdivision would meet the provisions of the City's Subdivision Regulations regarding resub division due to the proposal including only altering three (3) existing lots and the proposed lot size is consistent with other adjacent lots along Carol Ann Road and Grace Drive.

-Motion Option- Approve the subdivision plat based on the plat meeting the City's requirements.  
(Staff Recommendation)

-Motion Option- Deny the subdivision plat based on the plat not meeting the City's requirements as determined by the Planning Commission.

-Motion Option- Defer the request for the applicant to provide additional information at the June Planning Commission meeting.

**Planning Commission Discussion:**

-Commissioner Gilmore commented on the vertical lot that is landlocked.

-McCormick responded with the plat amendment it would create road frontage.

**Motion:** Motion by Wheeler to approve the request, seconded by Commissioner Gilmore. The motion passed unanimously.

**Item #5 David and Karen Wrye, Property Owners:** Requests approval to relocate the existing one family detached dwelling unit (home) at 617 Carol Ann Road to the vacant 2.23-acre property located at 0 Carol Ann on the property referenced as Sumner County Tax Map 143G Group B Parcel 3.01. The property is zoned R-25, Low Density Residential. The proposed house location is included on lot 57A of the final subdivision plat included with Item#4. Request is per Tennessee Code Annotated Sections 13-3-501 to 13-3-504.

**Item Representative: David Wrye, Property Owner**

**Staff Discussion:**

-Per Tennessee law, the Planning Commission's review and approval is required to move an existing house in a neighborhood/subdivision when the neighborhood does not have a homeowner association.

-The state law is to ensure the house is generally the same age or newer and is of a consistent size or larger square footage of the existing homes.

-This request is unique since the existing house at 617 Carol Ann Road is proposed to be moved to another lot in the same neighborhood and subdivision.

-The existing house located at 617 Carol Ann Road is proposed to be relocated roughly 500 feet to lot 57B per the revised Clover Bend subdivision plat per Item#4.

-The sixteen (16) existing houses including the homes along the east side of Carol Ann Road and the homes along both sides of Grace Drive in the area of proposed house relocation, were constructed between 1963 and 1998.

-Twelve (12) or a majority of the homes were constructed between 1963-1970.

-The average finished square footage per the Sumner County Tax Assessor's website of the sixteen (16) homes also including the existing house at 617 Carol Ann Road is 2,296 sq. ft. with the largest being 3,468 sq. ft. and smallest being 1,585 sq. ft.

-Twelve (12) of the homes are in 2,000 sq. ft. range.

-The average improvement assessment of the sixteen (16) adjacent homes and also including the existing house at 617 Carol Ann Road is \$263,564.

-Ten (10) of the homes are in the \$200,000 improvement assessment value range with \$411,700 being

the highest and \$174,000 being the lowest as referenced on the Sumner County Tax Assessor's website information.

- The house relocation process will include upgrades due to the remodeling that will be required to the existing house that would be anticipated to increase the next Sumner County improvement assessment.
- Motion Option- Approve the house moving request based on the proposal meeting the state law section and the house is an existing house in the neighborhood/subdivision. (Staff Recommendation)
- Motion Option- Deny the house moving request based on the proposal not meeting the state law section as determined by the Planning Commission.
- Motion Option- Defer the request for the applicant to provide additional information at the June Planning Commission meeting.

**Planning Commission Discussion:**

-McCormick discussed the fifty (50') feet road frontage easement access for the two (2) lots.

**Motion:** Motion by Commissioner Gilmore to approve the request, seconded by Wheeler. The motion passed unanimously.

**Item #6 Old Hickory Building LLC/Bruce Rainey and Associates:** Requests site plan approval for a 384 square feet sales office and display area at 850 Louisville Hwy. The 0.47-acre property is referenced as Sumner County Tax Map 142 Parcel# 011 and is zoned CS, Commercial Services/Exit 98 Louisville Hwy 31W- INT, Interchange Overlay. Property Owner: Cranor Properties LLC (4-25).

**Item Representative: Bruce Rainey, 900 S Broadway, Portland, TN**

**Staff Discussion:**

- The Planning Commission previously discussed the business use prior to the recent Zoning Ordinance amendment permitting additional uses in the Exit 98 Interchange Overlay zone.
- The project includes a permanent building to be used for the sales and business office.
- The project will include a fenced display area for accessory buildings.
- The property contains an existing parking lot and a driveway on a section of Forks Road.
- The Planning Commission would have to review any future requests for a high-rise interstate type sign.
- Motion Option-Approve the site plan based on the plan meeting the City's requirements includes the permanent sales/office building meeting the City's Material Design requirements. (Staff Recommendation)
- Motion Option-Deny the site plan based on the plan not meeting the City's requirements as determined by the Planning Commission.
- Motion Option-Defer the request for the applicant to provide additional information at the June Planning Commission meeting.

**Planning Commission Discussion:**

- Commissioner Gilmore asked if the building would be built on a foundation.
- Rainey discussed the building process including a foundation design.
- Rainey commented he is familiar with the company/people and thinks this will really improve this area.
- Commissioner Gilmore discussed options for brick on the front, side, and back of the building.
- Rainey responded the building will be sitting long ways and he can ask them to brick the East side and the front of the building.

- Commissioner Gilmore commented citizens are wanting to see more brick than wood and hardie board construction and thinks a mixture would be what they are looking for.
- Commissioner Gilmore commented this is a great addition to the exit and appreciate them investing in the City.
- Parnell discussed the zoning use for the area, landscaping and brick for the permanent building.

**Motion:** Motion by Commissioner Gilmore to approve the site based on the plan and meeting the City's Zoning requirements with stipulations the front being one hundred (100%) brick, both sides sixty (60%) brick, and on back of the structure brick from the windowsill down, seconded by Parnell.

- Trew commented that the building is too plain and likes the idea of all brick or at least more accents on the front.
- Rainey discussed adding planters and more landscaping around the permanent building.
- Parnell commented he wanted the permanent building to be a different look than the storage barns and look like a permanent building with brick and nice landscaping.
- Trew commented we have a motion with stipulations on brick and a suggestion on planters and landscaping around the building.
- Rainey discussed adding brick accent columns on each corner of the building.
- Commissioner Gilmore commented this will be the first business you see when you exit the interstate so we want it to look nice for the visitors and everybody driving by and exiting off the interstate.
- Wheeler commented that this building is going to be much more attractive than what is there now and in her opinion the fifty (50%) brick rule is okay for this building.
- Wheeler commented brick with hardie board above it or a long-lasting material that looks really nice will work, having all brick in the front and sixty (60%) brick on the sides is too much right now.
- Trew commented he thinks they are all in agreement they want something nice, with brick, the idea of columns, and planters.

**Motion:** Motion by Commissioner Gilmore to approve the request with stipulations of fifty (50%) brick all around the building, landscape all around the building and landscape the fence row behind the building, seconded by Parnell. The motion passed unanimously.

**Item #7 Monticello Townhomes/Jack Nixon, Property Owner:** Requests a three (3) year final master plan approval extension for twenty-eight (28) townhouse units on 3.67 acres at 1537 Monticello Avenue. Property referenced as Davidson County Tax Map/Parcel# 03405006300 and is zoned HDRPUD, High Density.

**Item Representative: Jack Nixon, Property Owner**

**Staff Discussion:**

- The Goodlettsville City Commission at the August 2022, meeting approved the property rezoning and preliminary master plan.
- The Goodlettsville Planning Commission at the November 2022, meeting approved the project final master plan with six (6) stipulations.
- Per Tennessee law, the vested plan rights are valid until August 11, 2025 but during this time the property owner is required to obtain TDEC, Tennessee Department of Environment and Conservation (site) and City of Goodlettsville Land Disturbance permit for the project approval vested rights to remain until August 2027.

- The property owner has requested to extend the vested rights due to their intention at this time not to start the project permit process due to the anticipated project construction costs.
- The City Commission adopted an updated storm water design ordinance in September 2023. Any extension of the project final master plan approval will need to include the revised stipulation #1.
- Stipulation#1-Approval of revised plans and drainage calculations **based on the City's current storm water ordinance design requirements** by City's Engineer Consultant prior to any City Land Disturbance permit issuance.
- Motion Option-Approve the requested project final master plan approval extension extensions for two (2) years until August 11, 2027 with the six (6) approval stipulations including the revised stipulation #1. State and City permits would be required by this date to extend the vested rights for the construction phase as defined by the state law section. (Staff Recommendation)
- Motion Option-Deny the requested project final master plan based on the Planning Commission's discussion and determination at the meeting.
- Motion Option-Defer the request for the applicant to provide additional information at the June Planning Commission meeting.

**Planning Commission Discussion:**

- Trew discussed the timeline if approved for an extension.
- McCormick responded the State law on the final plan moves in two (2) year phases, three (3) year to get preliminary, once you get the preliminary you have three (3) years to get final and once you get final it's extended two (2) years. Once project permitted under construction you have up to ten (10) years.
- Trew commented if approved for an extension and if they changed their current standards and guidelines they would still be under today's guidelines for many, many years.
- McCormick responded that's the way the vested rights work.
- Parnell asked if they plan to build as designed within the next two (2) to three (3) years or are they trying to find a buyer to build later.
- Nixon responded the plan is to build as designed but if he can't he will have to give up on all he has spent on engineering and work.
- Nixon commented he has had numerous bids but can't make the numbers work.
- Parnell commented he thinks this is the right use for this land and higher density is a non-starter and hopeful at some point this will work.

**Motion:** Motion by Parnell to approve the request for a three (3) year extension, seconded by Wheeler. The motion passed unanimously.

**With no further business, the meeting was adjourned at 5:50 pm.**

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Scott Trew, Chairman

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Sharon Reed, Planning Assistant

# DEVELOPMENT PLAN FOR



# SKY PEDIATRIC DENTISTRY

3106 BUSINESS PARK CIRCLE  
GOODLETTSVILLE, TN AND 37072  
MAY 22, 2025

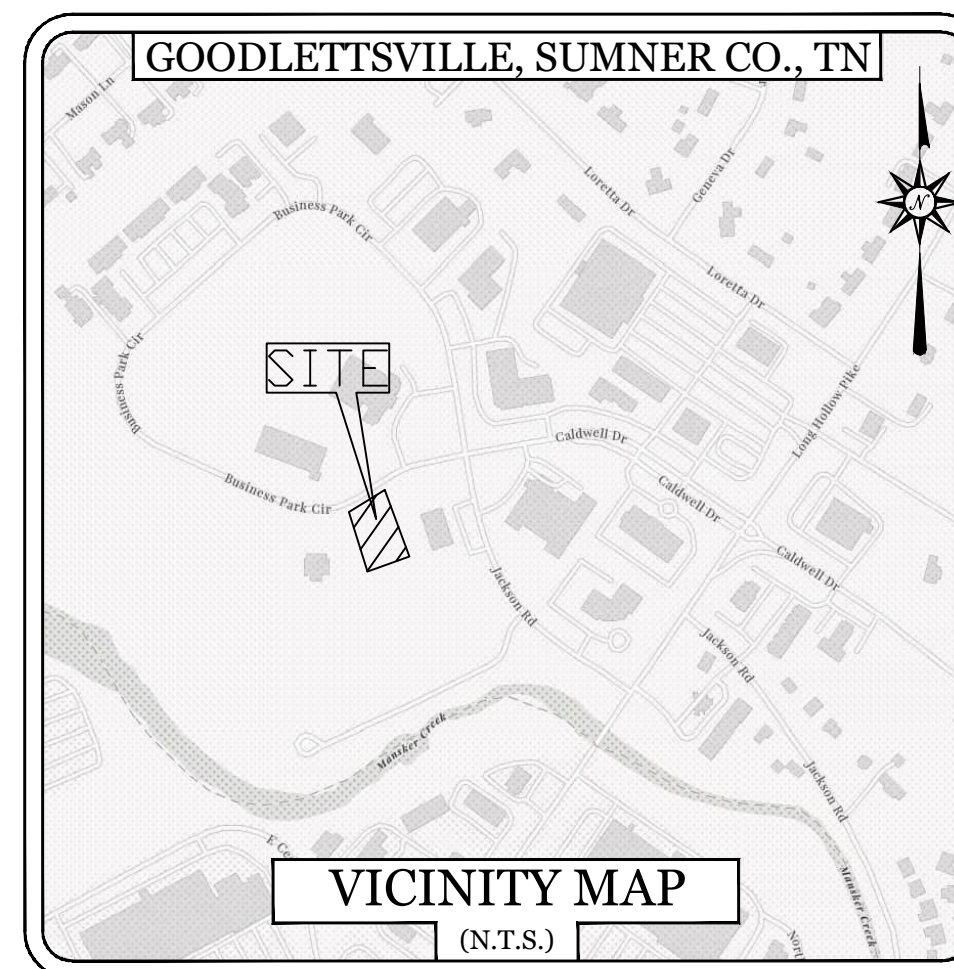


IMAGE IS FOR ILLUSTRATIVE  
PURPOSES ONLY

#### SHEET

- COVER SHEET
- C1 EXISTING TOPOGRAPHY
- C2 SITE LAYOUT
- C3 GRADING AND DRAINAGE
- C4 EROSION CONTROL
- C5 SANITARY SEWER & WATER
- C6 ELECTRIC, PHONE & GAS
- C7 DETAILS
- C8 DETAILS
- C9 DETAILS
- L1 LANDSCAPE PLAN
- SL1 SITE LIGHTING PLAN

#### DEVELOPER/APPLICANT:

4X2, LLC  
234 NATCHEZ TRACE  
BOWLING GREEN, KY 42103  
CONTACT: DR. AMANDA ASHLEY  
270-715-5437

#### ENGINEER:

ARNOLD CONSULTING  
ENGINEERING SERVICES, INC.  
P.O. BOX 1338  
BOWLING GREEN, KY 42102  
CONTACT: AARON ARNOLD  
270-780-9445

#### ARCHITECT:

SE ENGINEERING  
1733 CAMPUS PLAZA CT, STE 10  
BOWLING GREEN, KY 42101  
CONTACT: KEVIN YASTE  
270-796-3052

#### SURVEYOR:

ARNOLD CONSULTING  
ENGINEERING SERVICES, INC.  
P.O. BOX 1338  
BOWLING GREEN, KY 42102  
CONTACT: JEFF ARNOLD  
270-780-9445

#### UTILITY COMPANIES/ GOVERNMENT OFFICIALS

PLANNING & BUILDING DEPT:  
CITY OF GOODLETTSVILLE  
105 S. MAIN STREET  
GOODLETTSVILLE, TN 37072  
CONTACT: ADDAM MCCORMICK  
TELEPHONE: (615) 851-2202

SEWER AND SEWER:  
CITY OF GOODLETTSVILLE  
105 S. MAIN STREET  
GOODLETTSVILLE, TN 37072  
CONTACT: STEVE DIVINEY  
TELEPHONE: (615) 851-3470

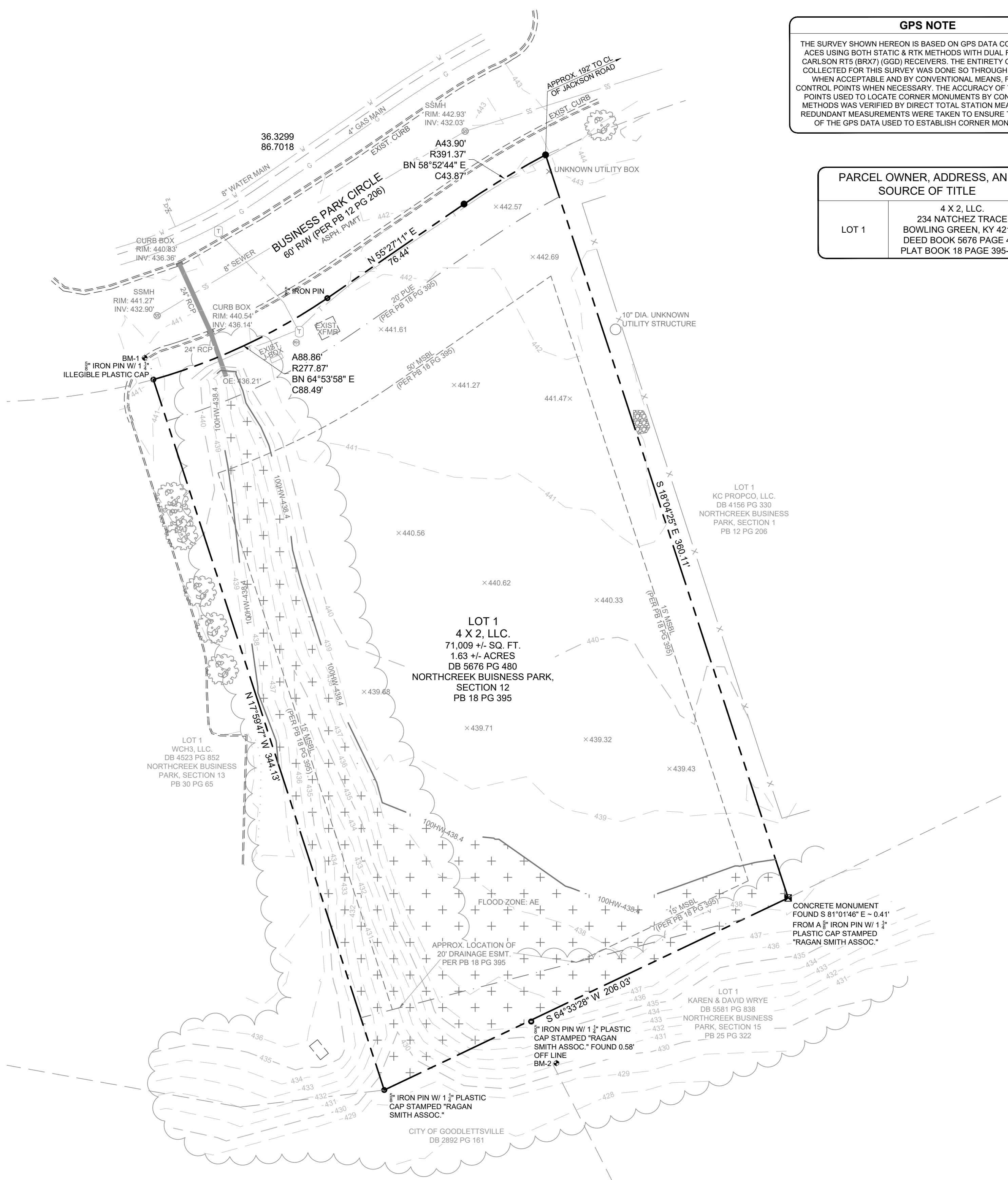
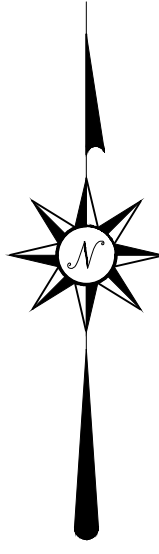
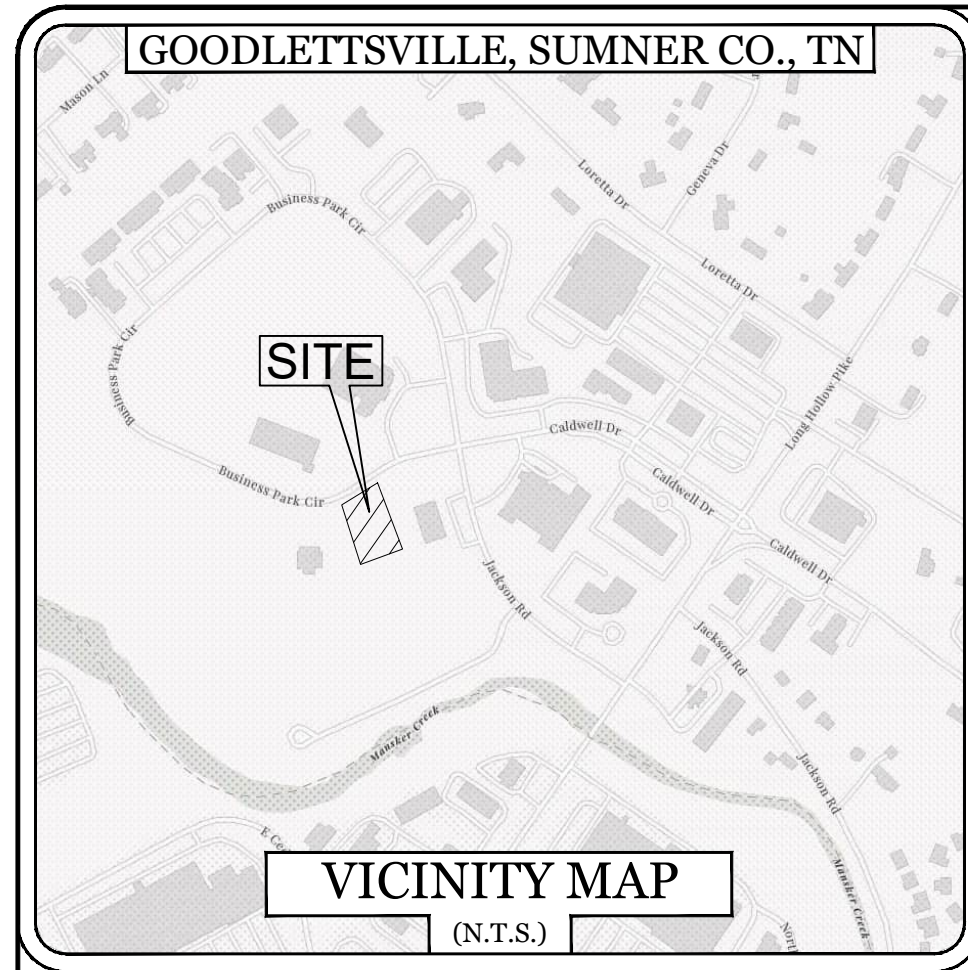
ELECTRICITY:  
NASHVILLE ELECTRIC SERVICE  
1214 CHURCH STREET  
NASHVILLE, TN 37246  
TELEPHONE: (603) 480-2297

GAS:  
NASHVILLE GAS COMPANY  
665 MAINSTREAM DRIVE  
NASHVILLE, TN 37228  
TELEPHONE: (615) 734-0665

CABLE/TELEPHONE:  
COMCAST  
660 MAINSTREAM DRIVE  
NASHVILLE, TN 37228  
TELEPHONE: (615) 244-6222



**ARNOLD CONSULTING  
ENGINEERING SERVICES, INC.  
P.O. BOX 1338  
BOWLING GREEN, KY 42102**



**GPS NOTE**

THE SURVEY SHOWN HEREON IS BASED ON GPS DATA COLLECTED BY ACES USING BOTH STATIC & RTK METHODS WITH DUAL FREQUENCY CARLSON RTs (BRX7) (GGD) RECEIVERS. THE ENTIRETY OF THE DATA COLLECTED FOR THIS SURVEY WAS DONE SO THROUGH GPS MEANS WHEN ACCEPTABLE AND BY CONVENTIONAL MEANS, FROM GPS CONTROL POINTS WHEN NECESSARY. THE ACCURACY OF THE CONTROL POINTS USED TO LOCATE CORNER MONUMENTS BY CONVENTIONAL METHODS WAS VERIFIED BY DIRECT TOTAL STATION MEASUREMENT. REDUNDANT MEASUREMENTS WERE TAKEN TO ENSURE THE QUALITY OF THE GPS DATA USED TO ESTABLISH CORNER MONUMENTS.

**PARCEL OWNER, ADDRESS, AND SOURCE OF TITLE**

LOT 1	4 X 2, LLC. 234 NATCHEZ TRACE BOWLING GREEN, KY 42103 DEED BOOK 5676 PAGE 480 PLAT BOOK 18 PAGE 395-396
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**LEGEND**

- BENCHMARK
- IRON PIN FOUND
- IRON PIN SET
- CONCRETE MONUMENT
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- ANCHOR
- UTILITY POLE
- SIGNAL POLE
- ELECTRIC BOX
- ELECTRIC METER
- GAS VALVE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- GAS METER
- TELEPHONE PEDESTAL
- STORM SEWER MANHOLE
- DROP BOX INLET
- CURB BOX INLET
- PIPE BOLLARD
- GUTTER OUTLET
- ROAD SIGN
- TREE
- MAILBOX
- LAMP POLE
- BUILDING SET BACK LINE
- EACH SIDE OF LINE
- PUBLIC UTILITY EASEMENT
- FINISHED FLOOR ELEVATION
- PROPERTY LINE
- SETBACK LINE
- EASEMENTS
- LOT LINE TO BE ABANDONED
- CENTERLINE
- UNDERGROUND ELECTRIC
- GAS LINE
- OVERHEAD UTILITIES
- BURIED TELEPHONE
- SANITARY SEWER LINE
- WATER LINE
- STORM SEWER LINE
- FENCE LINE
- FEMA FLOOD ZONE AE

**FLOODPLAIN INFORMATION**

A PORTION OF THE PROPERTY SHOWN HEREON LIES IN A FLOOD PRONE AREA ACCORDING TO (FIRM) FLOOD INSURANCE RATE MAP FOR SUMNER COUNTY, TENNESSEE. SAID AREA IS SHOWN ON MAP #47165C0379H, WITH AN EFFECTIVE DATE OF FEBRUARY 26, 2021.

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**BENCHMARK DATA:**

**BENCHMARK 1**  
 IRON PIN W/ 1 1/2" ILLEGIBLE PLASTIC CAP FOUND IN THE NORTH WEST MOST CORNER OF THE PROPERTY  
 N: 727415.54  
 E: 1761725.89  
 ELEV: 440.63

**BENCHMARK 2**  
 IRON PIN W/ 1 1/2" PLASTIC CAP STAMPED "RAGAN SMITH ASSOC." FOUND NEAR THE SOUTHERN PROPERTY LINE  
 N: 727117.75  
 E: 1761899.89  
 ELEV: 436.74

**GENERAL NOTES**

- THIS EXHIBIT IS A TOPOGRAPHIC SURVEY ONLY, AND IS NOT TO BE USED AS A BOUNDARY SURVEY, OR AS AN INSTRUMENT TO TRANSFER TITLE. THE BOUNDARY OF THE PROPERTY DEPICTED ON THIS SURVEY IS BASED ON DEED BOOK 5676 PAGE 480 AS FOUND IN THE OFFICE OF THE SUMNER COUNTY CLERK.
- THE LOCATION OF ALL UTILITIES SHOWN HEREON ARE BASED ON THE FIELD LOCATION OF FOUND VISIBLE STRUCTURES OR AS FLAGGED OR MARKED BY THEIR RESPECTIVE UTILITY COMPANIES. THERE MAY BE OTHER UNDERGROUND UTILITIES LOCATED ON THE PROPERTY SHOWN HEREON. NO GUARANTEE IS EXPRESSED OR IMPLIED TO THE ACTUAL LOCATION OF SAID UTILITIES.
- THIS TOPOGRAPHIC SURVEY IS SUBJECT TO ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON.
- AT THE TIME OF THE RECORD RESEARCH CONDUCTED FOR THIS SURVEY, THE SUBJECT PROPERTY HAD A DESIGNATED PHYSICAL ADDRESS OF 3106 BUSINESS PARK CIRCLE, GOODLETTSVILLE, TN 37072
- THE DATUM FOR THIS SURVEY IS GRID NORTH AS ESTABLISHED BY TENNESSEE STATE PLANE COORDINATES, SINGLE ZONE 4100. THE VERTICAL DATUM FOR THIS SURVEY IS NAVD 88 AS OBTAINED FROM STATIC OPUS OBSERVATION.

**REVISIONS**

5-22-25	PER PLANNING
	COMMISSION COMMENTS

**SKY PEDIATRIC DENTISTRY**  
 3106 BUSINESS PARK CIRCLE  
 GOODLETTSVILLE, TN 37072

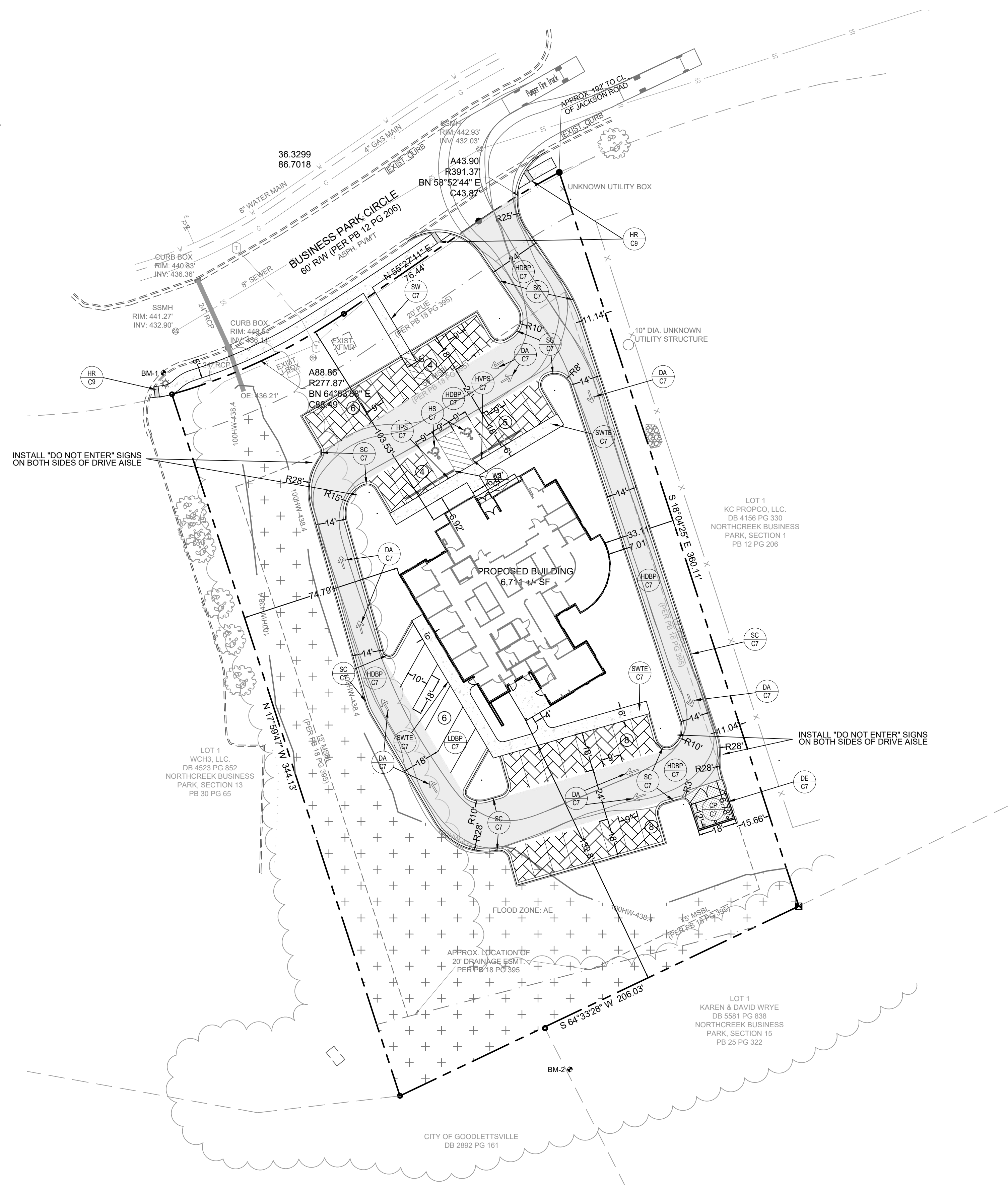
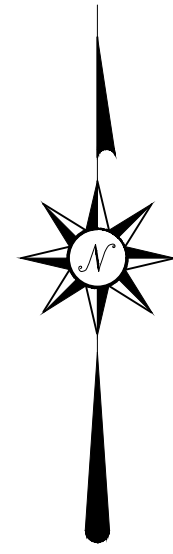
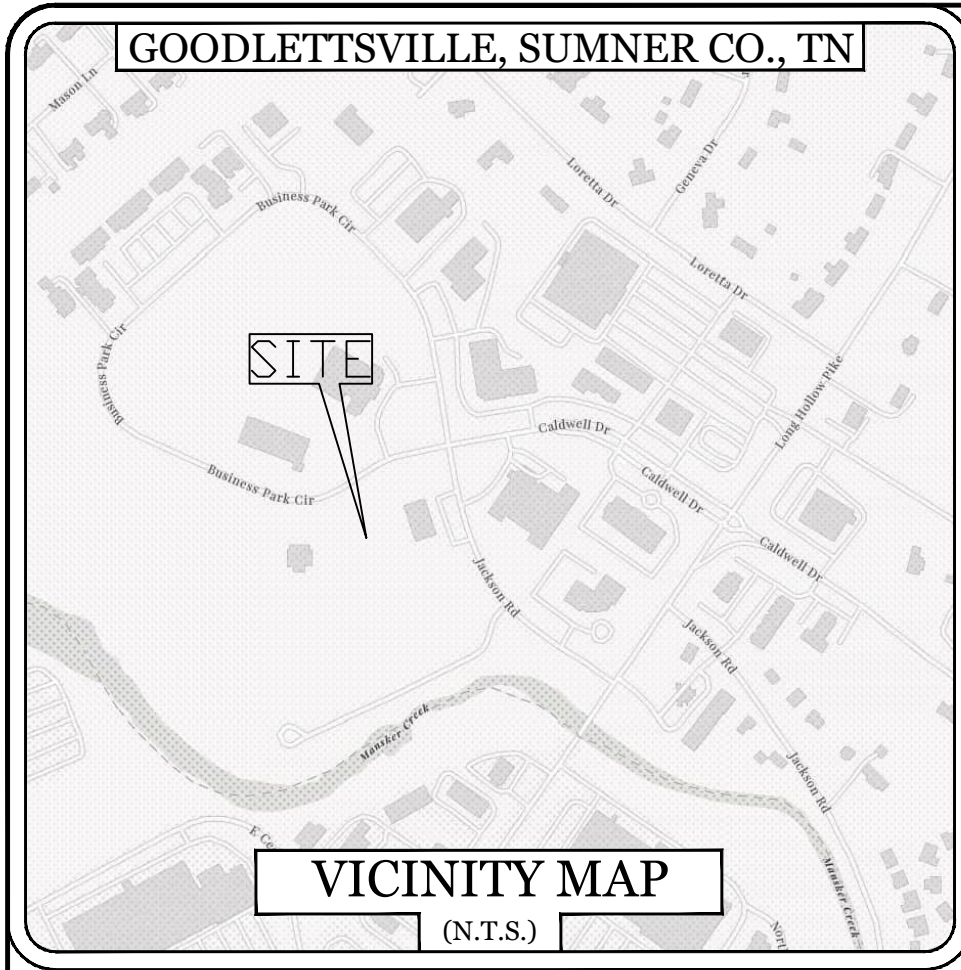
**ACES**  
 ARNOLD CONSULTING  
 ENGINEERING SERVICES, INC.  
 P.O. BOX 1336  
 BOWLING GREEN, KY 42101  
 PHONE (270) 750-9445

**JOB NUMBER:** 25-3046-L  
**DATE:** 3-31-2025  
**SCALE:** 1" = 30'  
**DRAWN:** L. CONWAY  
**CHECKED:** J. ARNOLD  
**APPROVED:** J. ARNOLD



**C1**  
 EXISTING  
 TOPOGRAPHY





**GENERAL NOTES**

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
  2. NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND IN PLACE.
  3. ALL DIMENSIONS INVOLVING CURB RADI ARE SHOWN TO FACE OF CURB, UNLESS NOTED OTHERWISE. ALL CURB RADI ARE 5.0' UNLESS NOTED OTHERWISE.
  4. IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
  5. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL UTILITY COMPANIES.
  6. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND THE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
  7. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL VEHICLE TRAFFIC IN AND AROUND THE CONSTRUCTION AREA.
  8. ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" TOPSOIL, SEED (AS OUTLINED IN THE LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
  9. ALL PAVEMENT MARKINGS INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE WHITE PAINT (TWO COATS). HANDICAP SYMBOL COLORS SHALL BE PER LOCAL CODE. APPROVED EXTERIOR PAINTS ARE AS FOLLOWS:  
 PRATT AND LAMBERT TRAFFIC PAINT  
 SHERWIN-WILLIAMS PRO-MAR TRAFFIC MARKING  
 -PAINT B29 SERIES  
 GLIDDEN ROMARK TRAFFIC PAINT  
 PPG ZONE AND TRAFFIC MARKING PAINT
- \*NOTES: THE SITE SHALL COMPLY WITH ALL ACCESSIBILITY STANDARDS.**

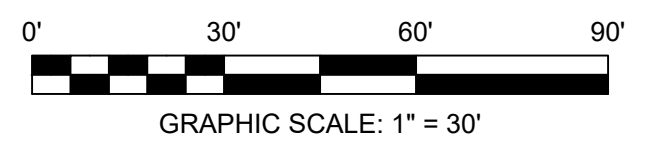
DEVELOPMENT SUMMARY		
STATISTIC	PERMITTED / REQUIREMENT	PROVIDED
CURRENT ZONING	GOPUD	GOPUD
PROPOSED USE	VACANT	DENTIST OFFICE
TOTAL SITE AREA	MIN. 5 AC. (FOR ENTIRE GOPUD ZONING)	1.63 +/- AC. OF TOTAL 46.56 ACRES W/ GOPUD ZONING
LOT COVERAGE OF BUILDING	0.65 +/- AC. (40%) 28,404 SF	0.15 +/- AC. (9.4%) 6,711 SF
TOTAL LOT COVERAGE	N/A	0.69 +/- AC. (42%) 30,145 SF
BUILDING SETBACKS	FRONT 50' (NORTHWEST) SIDE 15' (SOUTHWEST) REAR 15' (SOUTHEAST) SIDE 15' (NORTHEAST)	FRONT 103.53' (NORTHWEST) SIDE 74.79' (SOUTHWEST) REAR 132.80' (SOUTHEAST) SIDE 33.11' (NORTHEAST)
TOTAL PARKING	USE TYPE = *REGIM PER CODE 1 SPT/200 SF DEVELOPMENT INFO = 35 SPACES	41 SPACES PROVIDED 39 STANDARD SPACES 2 ADA SPACES
LANDSCAPE PLAN	REQUIRED	SEE L1
DRAINAGE PLAN	REQUIRED	SEE C3
TRAFFIC STUDY	NOT REQUIRED	N/A
SITE ACCESS	PER CITY OF GOODLETTSVILLE, TN	1 ACCESS POINT OFF BUSINESS PARK CIRCLE

BUILDING SUMMARY		
STATISTIC	PERMITTED / REQUIREMENT	PROVIDED
FOOT PRINT	MAX LOT COVERAGE = 40%	6,711 S.F. +/-
BUILDING AREA	FAR = 0.75 = 53,257 SF MAX	6,711 S.F. +/-
BUILDING HEIGHT	MAX 7 STORIES	1 STORY
FLOOR AREA RATIO	0.75	6,711 SF/ 71,009 SF = 0.096

**CONSTRUCTION LEGEND**

- HEAVY DUTY BITUMINOUS PAVEMENT
- LIGHT DUTY BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- CURB AND GUTTER
- HANDICAP SYMBOL
- SIDEWALK WITH TURNDOWN EDGE
- SIDEWALK
- HANDICAP PARKING SIGN
- HANDICAP PARKING SIGN (VAN ACCESSIBLE)
- WHEEL STOP
- HANDICAP RAMP
- DIRECTIONAL ARROW
- DUMPSTER ENCLOSURE



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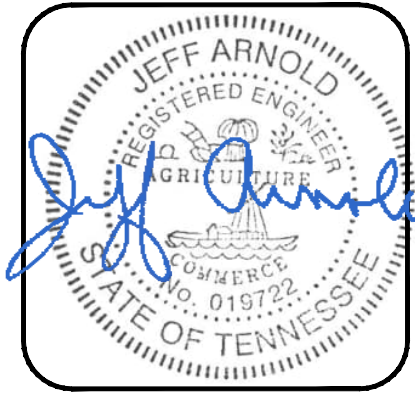
**REVISIONS**

5-22-25 - PER PLANNING COMMISSION COMMENTS

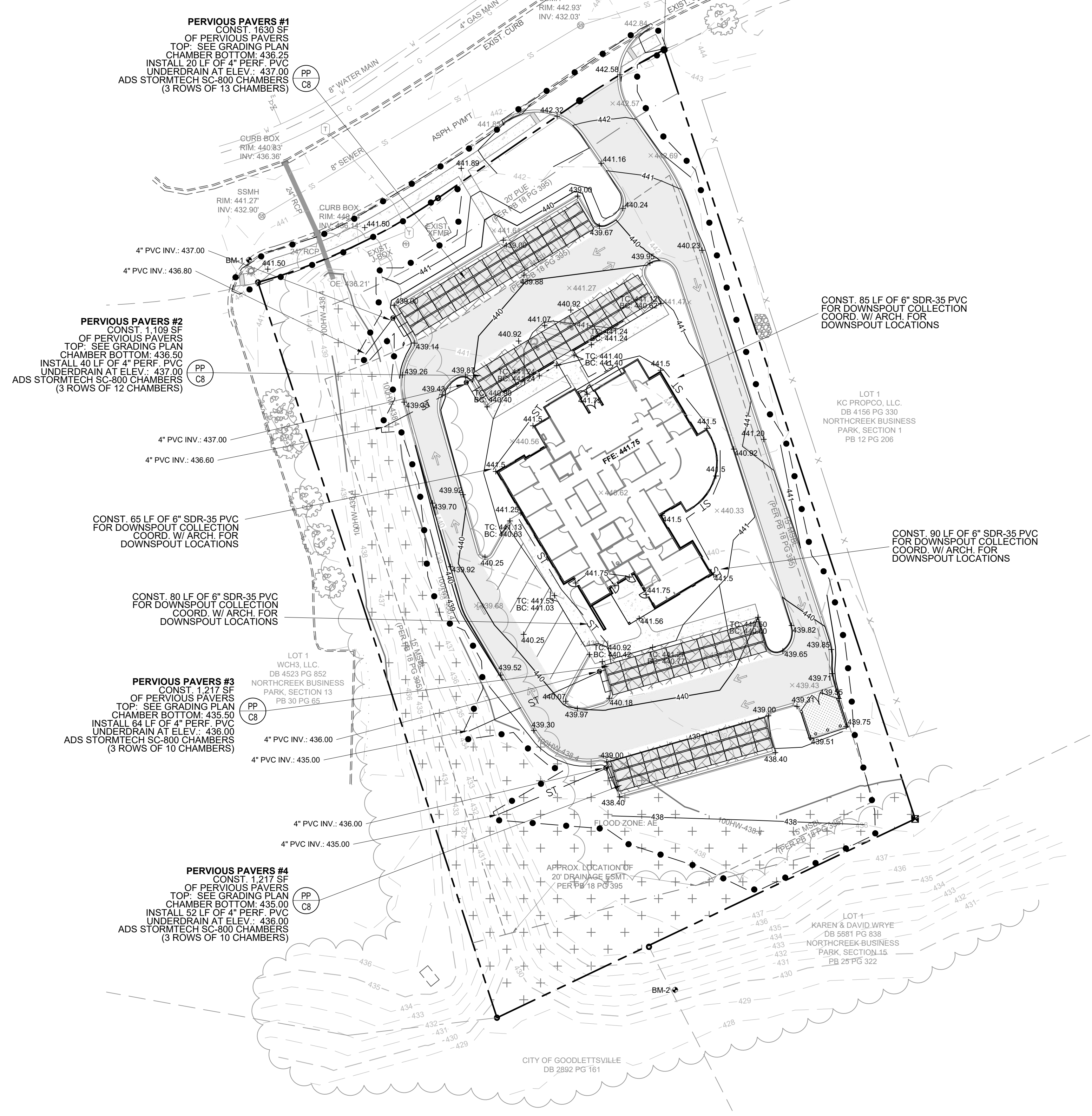
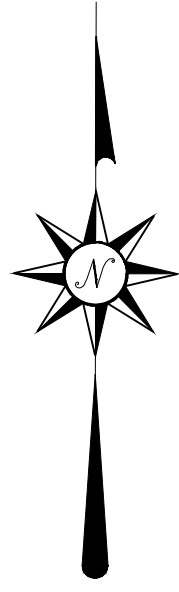
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JOB NUMBER: 25-3046-L  
 DATE: 3/31/2025  
 SCALE: 1" = 30'  
 DRAWN BY: O. SLOWN  
 CHECKED BY: B. SHIRLEY  
 APPROVED BY: J. ARNOLD



**C2**  
 SITE LAYOUT



**GRADING AND DRAINAGE NOTES:**

1. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY 811 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
2. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
3. NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V UNLESS SPECIFICALLY NOTED ON PLANS.
4. SITE GRADES AROUND THE BUILDING AND PAVEMENT AREAS SHALL BE GRADED DURING CONSTRUCTION TO PREVENT PONDING. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
5. FILL INCLUDING FINAL TOPSOIL SHALL BE PLACED A MINIMUM OF 3 INCHES BELOW FFE AT BUILDING SLABS UNLESS OTHERWISE INDICATED BY ARCHITECTURAL WALL SECTION DETAILS.
6. GRADES WITHIN 10' OF BUILDING SHALL HAVE A MINIMUM SLOPE OF 2% AWAY FROM THE BUILDING.
7. ALL EXCAVATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OSHA GUIDELINES AS MANDATED IN CURRENT FEDERAL, STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE IN PROVIDING SAFE WORKING CONDITIONS IN CONNECTION WITH ANY EXCAVATION WORK.
8. ENGINEERED FILL SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DENSITY IN BUILDING PAD AREAS (PROPOSED AND FUTURE EXPANSION) AND TO 95% IN PARKING AND DRIVE AREAS. VEGETATED AREAS SHOULD BE COMPACTED TO A MINIMUM OF 92% OF STANDARD PROCTOR DENSITY.
9. STONE BASES SHOULD BE COMPACTED TO A DENSITY SATISFACTORY TO ENGINEER, TYPICALLY 84% OF SOLID VOLUME OR BY TEST STRIP METHODS.
10. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC. WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE.
11. GRADE LINES SHOWN ARE FINISHED GRADE. CONTRACTOR SHOULD SEE DETAIL SHEET FOR APPROPRIATE PAVEMENT TYPE TO DETERMINE SUB-GRADE ELEVATIONS FOR PAVING AREAS.
12. CONTRACTOR IS ADVISED THAT FINAL GRADING AND CURB PLACEMENT SHALL BE COMPLETED TO ACCOMMODATE THE FOLLOWING:
  - A) NO WATER WILL POND AT POINTS WHERE LANDSCAPE ISLANDS EXTEND INTO PARKING SPACES.
  - B) SPACES DESIGNATED FOR HANDICAP PARKING AND ACCESS AISLE SHALL HAVE A FINAL SLOPE AFTER PAVING IS COMPLETED OF NOT MORE THAN 2.0%. IF EITHER OF THESE ITEMS ARE NOT CONSTRUCTED AS OUTLINED ABOVE, REWORK WILL BE PROVIDED BY THE CONTRACTOR TO CORRECT DEFICIENCIES AT THE CONTRACTORS EXPENSE.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE. SPOT ELEVATIONS SHOWN ALONG GUTTER LINE ARE FLOW ELEVATIONS FOR FACE OF CURB.

**STORM WATER RUNOFF CALCULATIONS**

**PRE-DEVELOPED**  
 TOTAL AREA (A) = 1.63 ACRES  
 AREA OF IMPERVIOUS (A<sub>i</sub>) = 0.00 ACRES  
 AREA OF PERVIOUS (A<sub>p</sub>) = 1.63 ACRES  
 C<sub>i</sub> = 98 C<sub>p</sub> = 79  
 $WT. "C" = \frac{(A_i * C_i) + (A_p * C_p)}{A_t} = \frac{(0.00 * 98) + (1.63 * 79)}{1.63} = 79$

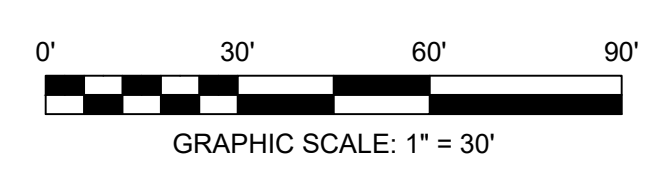
**POST-DEVELOPED**  
 TOTAL AREA (A) = 1.63 ACRES  
 AREA OF IMPERVIOUS (A<sub>i</sub>) = 0.69 ACRES  
 AREA OF PERVIOUS (A<sub>p</sub>) = 0.94 ACRES  
 C<sub>i</sub> = 98 C<sub>p</sub> = 79  
 $WT. "C" = \frac{(A_i * C_i) + (A_p * C_p)}{A_t} = \frac{(0.69 * 98) + (0.94 * 79)}{1.63} = 87$

**TOTAL RETENTION PROVIDED**

PERVIOUS PAVER #1	VOLUME = 2,750 CU. FT. AT ELEV. 438.67
PERVIOUS PAVER #2	VOLUME = 2,985 CU. FT. AT ELEV. 439.50
PERVIOUS PAVER #3	VOLUME = 2,556 CU. FT. AT ELEV. 439.25
PERVIOUS PAVER #3	VOLUME = 2,340 CU. FT. AT ELEV. 438.30

**CONSTRUCTION LEGEND**

- PERVIOUS PAVERS
- DISTURB LIMITS (1.2 ACRES)



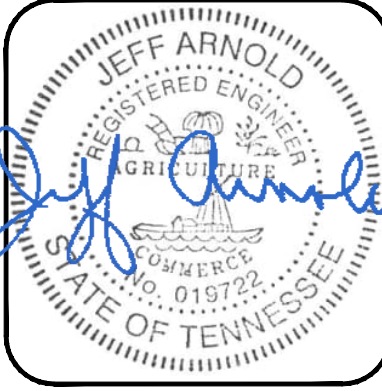
**REVISIONS**

NO. 02/25	PER PLANNING
	COMMISSION COMMENTS

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JOB NUMBER: 25-3046-L
DATE: 3/31/2025
SCALE: 1" = 30'
DRAWN BY: A. ARNOLD
CHECKED BY: A. ARNOLD
APPROVED BY: J. ARNOLD



**C3**  
 GRADING & DRAINAGE

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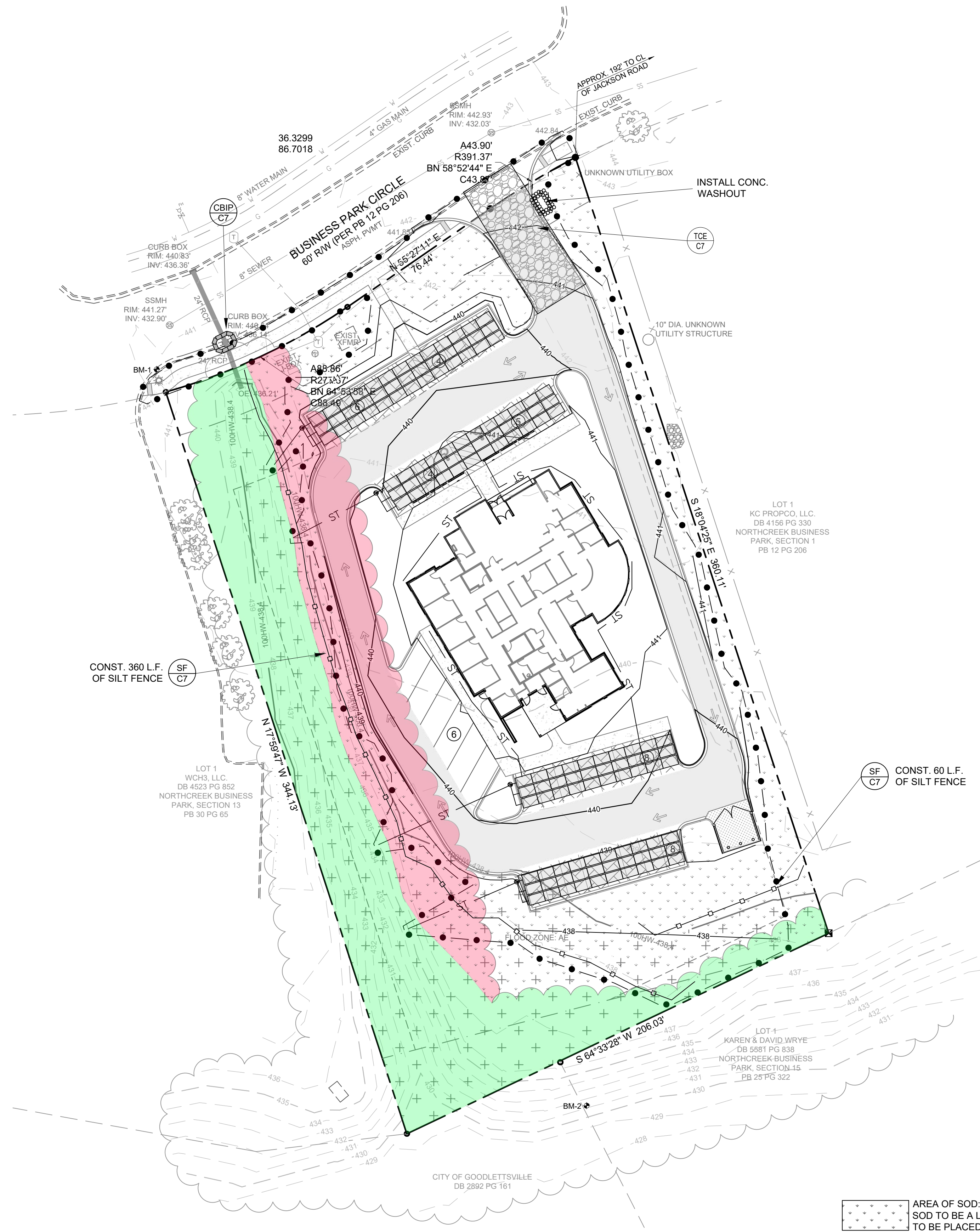
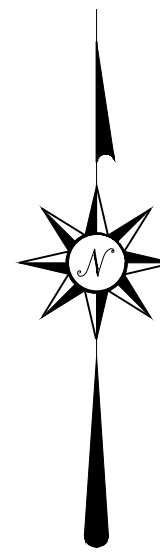
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**GENERAL NOTES**

1. ALL MEASURES INSTALLED FOR SEDIMENT CONTROL SHALL BE CHECKED AT THE BEGINNING AND END OF EACH DAY WHEN CONSTRUCTION IS OCCURRING TO ASCERTAIN THAT THE MEASURES ARE IN PLACE AND FUNCTIONING PROPERLY. ANY DAMAGE OBSERVED WILL BE REPAIRED BY THE END OF THAT WORKING DAY. MEASURES SHALL BE MAINTAINED UNTIL THE ARCHITECT/ENGINEER DETERMINES THAT THEY ARE NO LONGER NEEDED.
2. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE STANDARDS OF THE CITY/COUNTY AND AS REQUIRED BY STATE AND FEDERAL LAWS.
3. A COPY OF THE APPROVED EPSC (EROSION PREVENTION SEDIMENT CONTROL) PLANS SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES. THIS COPY SHALL BE PRESENTED TO THE CITY/COUNTY REPRESENTATIVES UPON REQUEST.
4. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN ANY AREA NOT ON THE APPROVED EPSC PLAN, THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EPSC PLAN TO THE CITY/COUNTY FOR APPROVAL.
5. ALL EPSC MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRADING. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY/COUNTY. DURING DEWATERING OPERATIONS WATER MUST BE PUMPED THROUGH AN APPROVED FILTERING DEVICE. THE CITY/COUNTY MAY SUSPEND DEWATERING OPERATIONS IF POLLUTION IS OBSERVED.
6. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES AT LEAST TWICE A WEEK AND AT LEAST ONCE A DAY DURING RAINFALL EVENTS. THE CONTRACTOR SHALL PERFORM ANY REPAIRS OR MAINTENANCE IMMEDIATELY IN ORDER TO ENSURE EFFECTIVE EROSION AND SEDIMENT CONTROL. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AT THE PROJECT SITE. THIS RECORD SHALL BE MADE AVAILABLE UPON REQUEST TO THE CITY/COUNTY.
7. ALL AREAS DISTURBED SHALL BE STABILIZED ACCORDINGLY. WHEN THE SITE IS BROUGHT TO FINAL GRADE IT MUST BE STABILIZED WITHIN 14 DAYS. DISTURBED AREAS NOT AT FINAL GRADE MUST BE STABILIZED WITHIN 14 DAYS WHEN CONSTRUCTION HAS TEMPORARILY CEASED.

**SEED AND SOD NOTES**

1. ALL DISTURBED AREAS INCLUDING WASTE AREAS TO BE SEEDED OR SODDED (IF NOT NOTED TO BE ROBBIP-RAPPED, OR HARD SURFACED). THE AREA NOTED ON THE PLAN TO BE SEEDED SHALL BE SPREAD WITH 4" MINIMUM OF TOPSOIL. ALL AREAS TO BE DISKED, LEVELED, AND HAND RAKED. THE TOPSOIL LAYER SHALL BE ROLLED IMMEDIATELY IN ORDER TO ENSURE EFFECTIVE EROSION AND SEDIMENT CONTROL. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AT THE PROJECT SITE. THIS RECORD SHALL BE MADE AVAILABLE UPON REQUEST TO THE CITY/COUNTY.
2. INSTALLATION OF SEED SHALL BE BETWEEN MARCH 1 TO JUNE 15 OR SEPTEMBER 1 TO OCTOBER 15. IF SEEDING IS DONE IN BETWEEN OCTOBER 15 AND MARCH 1, A SEED BLEND WILL BE USED CONSISTING OF 20% ANNUAL RYE.
3. GRASS SEED SHALL BE A TYPE WHICH WILL THRIVE IN THIS PROJECT AREA. SUBMIT PROPOSED SEED MIXTURE TO OWNER FOR APPROVAL. FERTILIZER SHALL BE 10-10-10 TYPE 1 GRADE A. USE APPROXIMATELY 5 LBS. OF GRASS SEED, 10 LBS. OF FERTILIZER FOR EACH 1000 SQ. FT. OF GROUND AREA TO BE SEEDED. COVER ALL SEEDED AREAS WITH 3 BALES OF WHEAT STRAW FOR EACH 1000 SQ. FT. WATER DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS. AFTER SEED HAS GERMINATED, ALL THIN SPOTS SHALL BE RE-SEEDED.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. A MINIMUM OF 90% COVERAGE OF SOUND, HEALTHY GRASS SHALL BE REQUIRED FOR ACCEPTANCE.
5. EMBANKMENTS/SLOPES GREATER THAN 3:1 SHALL BE EITHER SEEDED AND COVERED WITH AN EROSION CONTROL MAT (JUTE MESH ENKAMAT) OR INSTALLED WITH SOD FOR PROPER STABILIZATION. SOD TO BE STAKED WITH EITHER WOOD STAKES OR U-SHAPED METAL PINS FLUSH WITH GRADE.
6. SOD SHALL BE REGIONALLY GROWN AND OF A SPECIES THAT WILL THRIVE IN THE PROJECT AREA.
7. HYDROSEED ALL NEW LAWN AREAS AS SPECIFIED UNLESS PLANS CALL FOR SOD.
8. MIX SEED, FERTILIZER AND PULVERIZED MULCH WITH WATER USING EQUIPMENT SPECIFICALLY DESIGNED FOR HYDROSEED APPLICATION.
9. APPLY SLURRY UNIFORMLY TO ALL AREAS BEING SEEDED. RATE OF APPLICATION AS REQUIRED TO OBTAIN SPECIFIED SEED SOWING RATE.
10. THE SOD SHALL BE RELATIVELY FREE OF DISEASES AND WEEDS. STONES LARGER THAN 1 1/2" IN ANY DIMENSION, PLANT ROOTS AND OTHER MATERIAL DETRIMENTAL TO A HEALTHY STAND OF TURF SHOULD BE REMOVED. DELIVERED SOD THAT HAS BECOME DRY, MOLDY OR YELLOW FROM HEATING, OR HAS IRREGULARLY SHAPED PIECES THAT ARE TORN OR HAVE UNEVEN ENDS SHALL BE REJECTED.
11. THE SOD BED WILL BE LOOSENEED TO A DEPTH OF 3" TO A SMOOTH, EVEN SURFACE AND SHALL BE GRADED TO SUCH AN ELEVATION SO THE SOD, WHEN IN PLACE, SHALL BE FLUSH WITH ANY ADJACENT SEEDED TURFED AREA, PAVEMENT, CURB OR OTHER STRUCTURES EXCEPT WHEN OTHERWISE NOTED.
12. LAY SOD WITHIN 24 HOURS OF STRIPPING. DO NOT LAY DORMANT SOD OR IF GROUND IS FROZEN. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. DO NOT OVERLAP.
13. WATER SOD WITH FINE SPRAY IMMEDIATELY AFTER PLANTING. DURING FIRST WEEK, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO DEPTH OF 4 INCHES.
14. PRIOR TO PLACING THE SOD, FERTILIZER 10-10-10 TYPE 1 GRADE A SHALL BE APPLIED UNIFORMLY. SOD SECTIONS SHALL BE HARROWED, RAKED OR OTHERWISE INCORPORATED INTO THE SOIL. THE SOIL BED, WHEN DRY, SHALL BE MOISTENED TO THE LOOSENEED DEPTH.
15. SOD SHALL BE WETTED THOROUGHLY, ROLLED AND TAMPED SUFFICIENTLY TO INCORPORATE THE ROOTS INTO THE SOD BED AND TO ENSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPPINGS.
16. ALL SODDED AREAS SHALL BE MAINTAINED, WATERED AND REPAIRED AS NECESSARY BY THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE PROJECT.
17. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL SEEDED OR SODDED AREAS FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE THAT MAY CAUSE EROSION, NEGLECT BY THE OWNER OR DAMAGED BY ANIMALS OR MACHINES.

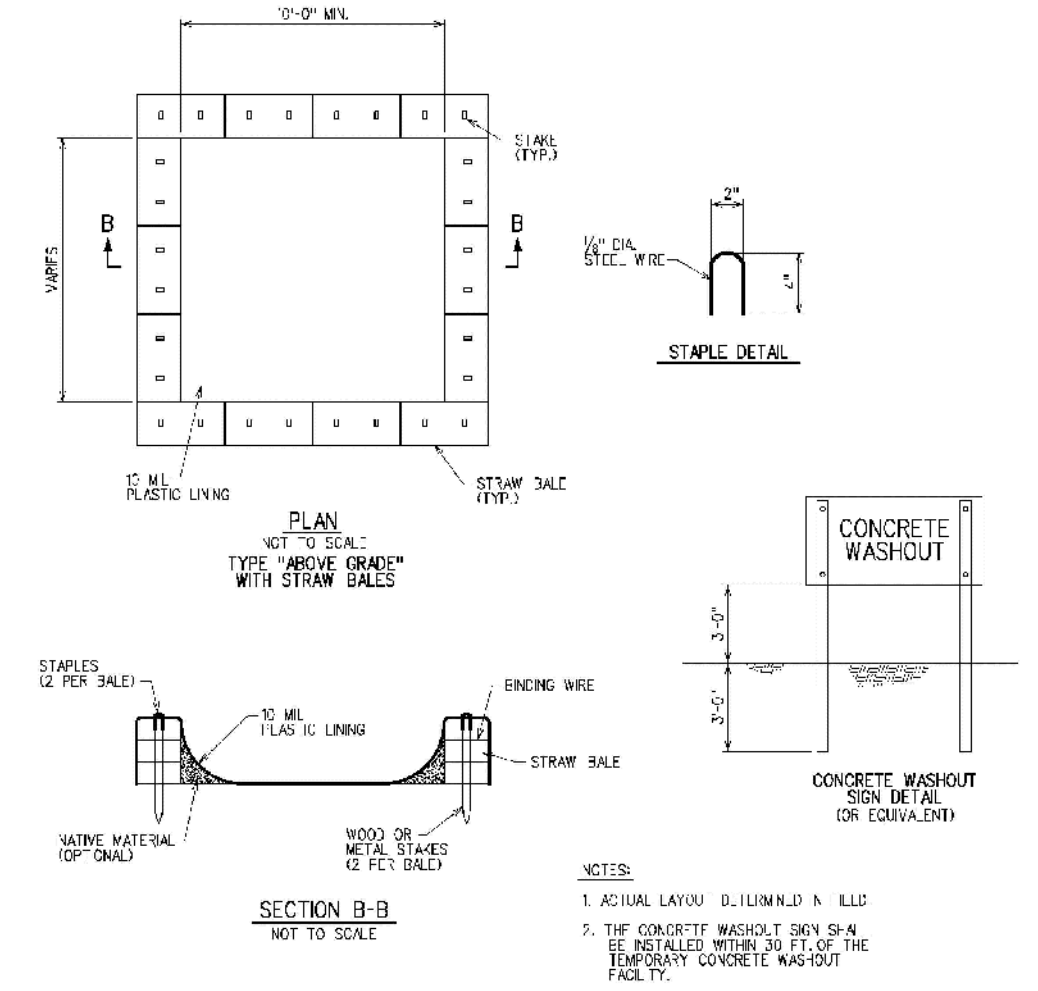
**CONSTRUCTION LEGEND**

- SILT FENCE
- INLET PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE

- AREA OF SOD: 2,562.36 SQUARE YARDS  
SOD TO BE A LOCALLY GROWN TYPE FESCUE. SOD TO BE PLACED WITHIN 24 HOURS OF HARVEST.
- EXTENT OF TREE CLEARING
- EXTENT OF TREE PRESERVATION



**TOTAL AREA DISTURBED:**  
- . - . - **1.2 ACRES**



**CONCRETE WASHOUT DETAIL**  
N.T.S.

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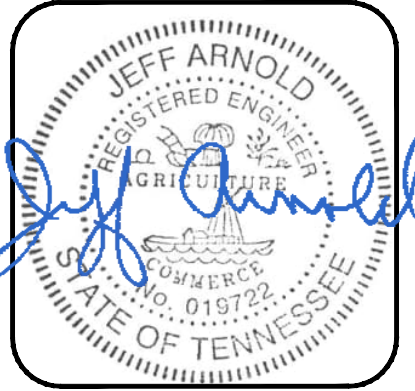


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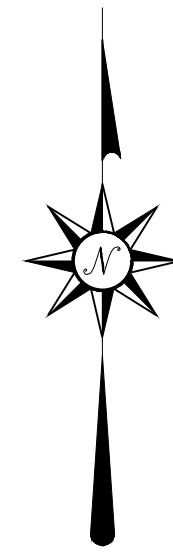
**SKY PEDIATRIC DENTISTRY**  
3106 BUSINESS PARK CIRCLE  
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**ACES**  
ARNOLD CONSULTING  
ENGINEERING SERVICES, INC.  
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BOWLING GREEN, KY 42101  
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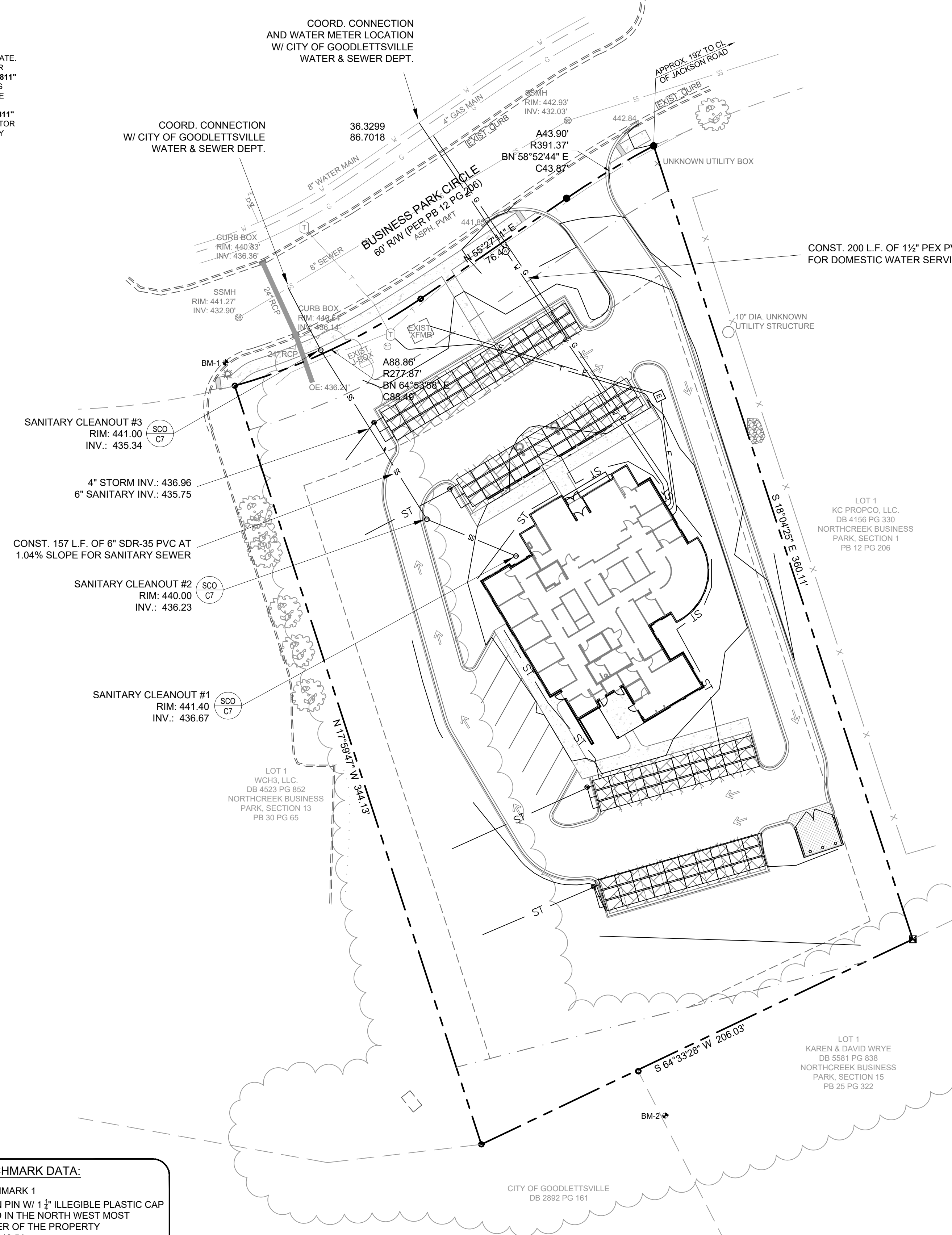
JOB NUMBER: 25-3046-L
DATE: 3/31/2025
SCALE: 1" = 30'
DRAWN BY: A. ARNOLD
CHECKED BY: A. ARNOLD
APPROVED BY: J. ARNOLD



**C4**  
EROSION CONTROL



**UTILITY NOTE:** ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "811" FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). WHEN CONTACTING THE "811" CALL CENTER, PLEASE STATE THE WORK TO BE DONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



### GENERAL NOTES

1. THE CONTRACTOR IS ADVISED THAT ALL EXISTING UTILITIES SHOWN WERE FIELD SURVEYED BASED ON LOCATIONS PROVIDED BY EACH UTILITY COMPANY. OTHER UTILITIES MAY EXIST THAT ARE UNMAPPED. THE CONTRACTOR IS ADVISED TO FIELD VERIFY ALL UNDERGROUND UTILITIES BY CONTACTING THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO EXCAVATION.
2. ALL UTILITIES TO BE CONSTRUCTED TO WITHIN 5' OF BUILDING.
3. BACK FILL OF ALL TRENCHES BENEATH STRUCTURES AND/OR PAVEMENT SHALL BE CRUSHED STONE OR SIMILAR MATERIAL AS APPROVED BY ENGINEER.
4. CONTRACTORS ARE ADVISED TO COORDINATE INSTALLATION OF ALL BURIED CONDUITS AND LINES SUCH THAT LINES WHICH CROSS ARE LAID BEGINNING WITH DEEPEST LINE FIRST.
5. DEPTH OF WATERLINE SHALL BE ADJUSTED AS REQUIRED TO ALLOW FOR SPECIFIED PLACEMENT OF SANITARY AND STORM SEWERS, BUT IN NO CASE LESS THAN 48 INCHES.
6. TAPPING AND INSPECTION FEES TO BE PAID BY CONTRACTOR, METER FEES TO BE PAID BY OWNER.
7. CONTRACTOR SHALL COORDINATE WATER AND SEWER SERVICES CONSTRUCTION WITH THE APPROPRIATE LOCAL UTILITY COMPANY. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.
8. ALL TRENCHING, PIPE LAYING AND BACK FILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
9. CONTRACTOR SHALL OBTAIN APPROVAL FROM ALL GOVERNING AGENCIES HAVING JURISDICTION OF UTILITY SYSTEMS PRIOR TO INSTALLATION.
10. ALL GATE VALVES SHALL BE PROVIDED WITH VALVE BOX IN ACCORDANCE WITH WATER UTILITY STANDARDS. MAIN WATER VALVES ONLY TO BE OPERATED BY LOCAL UTILITY COMPANY PERSONNEL.
11. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES AND FIRE HYDRANTS AND SHALL BE CONSTRUCTED ACCORDING TO WATER DEPARTMENT STANDARDS.
12. ALL WATER AND SANITARY SEWER SERVICE LINES TO THE BUILDING(S) SHALL BE PROVIDED WITH A TEMPORARY PLUG (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY). COORDINATE ALL TESTING AND INSPECTION WITH THE LOCAL UTILITY COMPANY.
13. THE CONTRACTOR SHALL FLUSH AND TEST ALL NEW UTILITY LINES ACCORDING TO THE LOCAL UTILITY COMPANY STANDARDS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND ELEVATIONS OF EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS DISCOVERED AFTER CONSTRUCTION HAS BEGUN SHALL BE CORRECTED AT CONTRACTOR'S EXPENSE.
15. THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES IS TEN FEET OUTSIDE DIAMETER TO OUTSIDE DIAMETER. THE MINIMUM VERTICAL SEPARATION IS EIGHTEEN INCHES.
16. BEFORE YOU DIG: CONTRACTOR SHALL NOTIFY 811 (AND ALL NON PARTICIPATING UTILITY COMPANIES) AT LEAST 72 HOURS PRIOR TO EXCAVATION. TO LOCATE AND FLAG ALL UNDERGROUND UTILITIES WITHIN THE PROPOSED SITE.
17. CONTRACTOR SHALL VERIFY LOCATIONS THAT UTILITIES ENTER THE BUILDING FROM THE ARCHITECTURAL PLANS PRIOR TO INSTALLING UTILITY SERVICE LINE.

### SEWER NOTES

1. PVC PIPE MATERIAL AND JOINTS SHALL CONFORM TO ASTM D-3034, LATEST REVISION.
2. FLEXIBLE THERMOPLASTIC SEWER PIPE INSTALLATION SHALL CONFORM TO ASTM D-2241, LATEST REVISION.
3. ALL SEWER LINES SHALL BE LAID 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN EXCEPT WHERE THE WATER MAIN CROSSES OVER THE SANITARY SEWER LINE.
4. ALL PIPELINE TRENCHING AND STRUCTURE EXCAVATION SHALL BE UNCLASSIFIED.
5. SANITARY SEWER PIPE SHALL HAVE A MINIMUM COVER OF THIRTY-SIX INCHES.
6. ALL SEWERS SHALL BE SMOKE TESTED AND/OR LOW PRESSURE AIR TESTED. A DEFLECTION TEST SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACK FILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
7. SUBGRADE AND BACK FILL FOR SEWERS LOCATED IN FILL AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF DENSITY DETERMINED FROM THE STANDARD PROCTOR TEST.
8. SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURES REQUIRED BY UTILITY COMPANY

### CONSTRUCTION LEGEND

SCO C7 - SANITARY SEWER CLEANOUT



REVISIONS
5-22-25 - PER PLANNING COMMISSION COMMENTS

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**ACES**  
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JOB NUMBER: 25-3046-L
DATE: 3/31/2025
SCALE: 1" = 30'
DRAWN BY: A. ARNOLD
CHECKED BY: A. ARNOLD
APPROVED BY: J. ARNOLD



**C5**  
 WATER &  
 SANITARY SEWER

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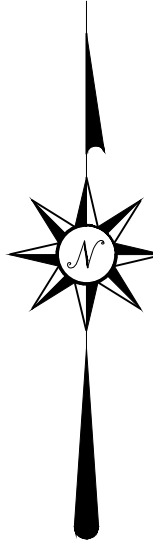
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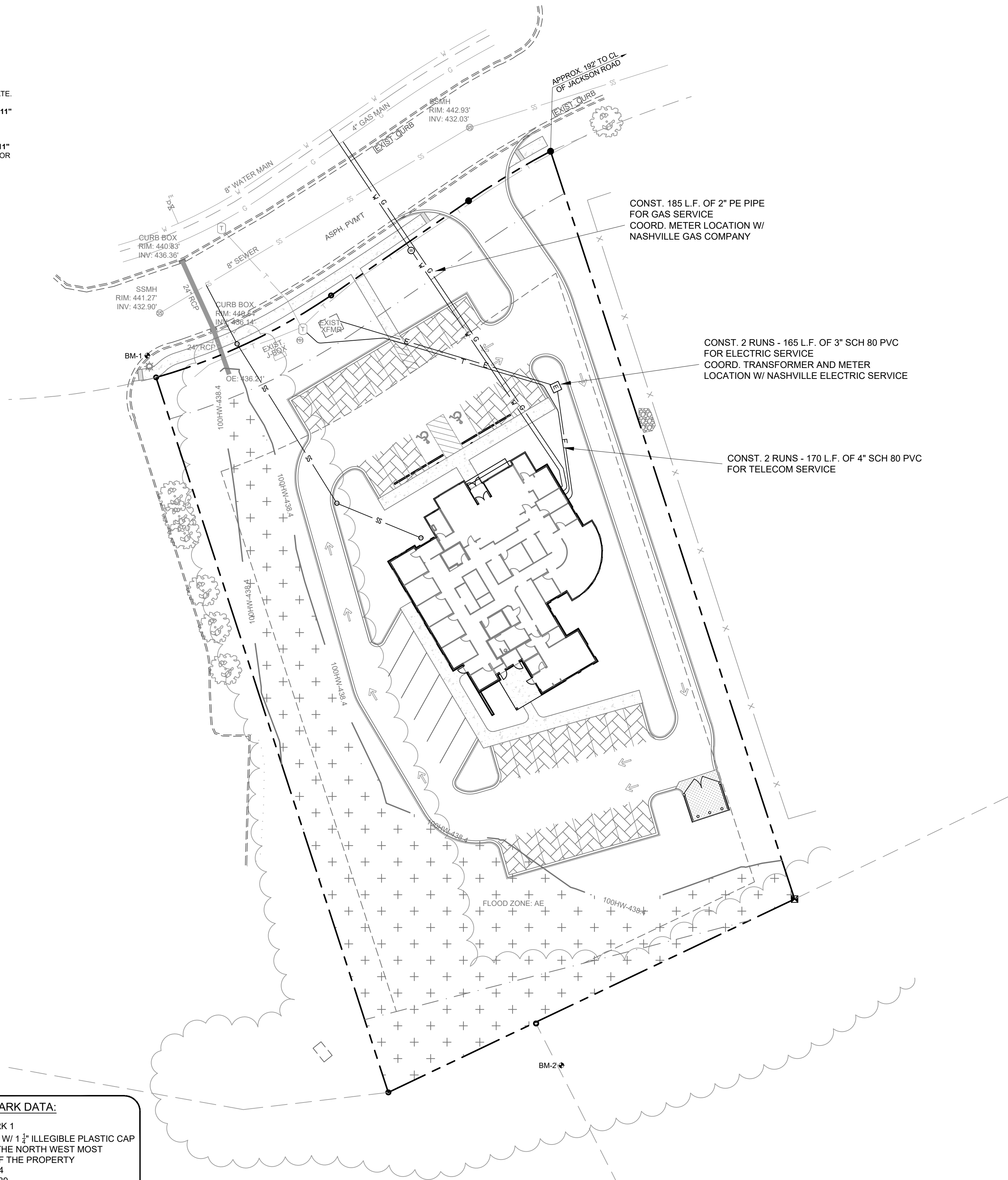


**BENCHMARK DATA:**

<p>➤ BENCHMARK 1          1/2" IRON PIN W/ 1 1/2" ILLEGIBLE PLASTIC CAP FOUND IN THE NORTH WEST MOST CORNER OF THE PROPERTY          N: 727413.54          E: 1761725.89          ELEV: 440.63</p>	<p>➤ BENCHMARK 2          1/2" IRON PIN W/ 1 1/2" PLASTIC CAP STAMPED "RAGAN SMITH ASSOC." FOUND NEAR THE SOUTHERN PROPERTY LINE          N: 727117.79          E: 1761899.89          ELEV: 436.74</p>
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## UNDERGROUND PRIMARY ELECTRIC REQUIREMENTS

- GENERAL:**
- A. TRANSFORMER PADS, VAULTS, SECONDARY CONDUCTOR, METER SOCKET, EXCAVATION, CONDUIT AND BACK FILL PROVIDED BY CONTRACTOR/DEVELOPER.
  - B. PAD MOUNT TRANSFORMERS, JUNCTION ENCLOSURES, PRIMARY CONDUCTORS ONLY, AND INSTALLATION BY LOCAL UTILITY COMPANY.
  - C. UNDERGROUND CONSTRUCTION BY CONTRACTOR IS SUBJECT TO INSPECTION BY LOCAL UTILITY COMPANY, AND MUST BE APPROVED PRIOR TO THE INSTALLATION OF CONDUCTOR AND TRANSFORMERS. CONDUIT TO BE INSPECTED BEFORE BACKFILLING.
  - D. REFER TO LOCAL UTILITY COMPANY'S OPERATING POLICIES FOR ADDITIONAL RULES AND REGULATIONS.
  - E. SUBDIVISION OR AREA IN QUESTION WILL BE AT LEAST ROUGH GRADE BEFORE ANY TRENCHING CAN BEGIN.
  - F. ANY CHANGES TO THESE OR ANY OTHER LOCAL UTILITY COMPANY SPECIFICATIONS RELATING TO SAME MUST BE DESIGNED OR APPROVED BY THAT LOCAL UTILITY COMPANY.
- CONDUIT REQUIREMENTS:**
- A. MINIMUM SIZE OF PRIMARY CONDUIT TO BE 2 1/2" SCH 80 PVC AND MINIMUM DEPTH FOR THIS CONDUIT IS 42 INCHES TO TOP OF CONDUIT. MINIMUM SIZE OF SECONDARY CONDUIT TO BE 3 INCH SCH 80 PVC AND MINIMUM DEPTH FOR THIS CONDUIT IS 42 INCHES TO TOP OF CONDUIT. MINIMUM SIZE OF CONDUIT FOR UNDERGROUND SERVICE LATERAL TO BE 2 1/2" SCH PVC AND MINIMUM DEPTH 24 INCHES TO TOP OF CONDUIT.
  - B. ALL BENDS IN CONDUIT SHALL BE RIGID METAL OF SUFFICIENT RADII TO PERMIT EASE IN PULLING WIRE (NO PLUMBERS BENDS WILL BE ACCEPTED). ALL 90° BENDS IN PRIMARY CONDUIT WILL HAVE A MINIMUM RADIUS OF 36 INCHES. ALL 90° BENDS IN SECONDARY CONDUIT WILL HAVE A MINIMUM RADIUS OF 18 INCHES.
  - C. ALL CONDUITS TO CONTAIN 150 LB. TEST (OR GREATER) NYLON STRING.
  - D. BACKFILL OVER CONDUIT SHALL CONTAIN NO LARGE ROCKS OR DEBRIS.
  - E. ALL CONDUITS BENEATH ROAD SURFACE WILL BE SCH 80, OR ENCASED IN A 4 INCH CONCRETE ENVELOPE, AND WILL BE BACKFILLED WITH NO. 9 CRUSHED STONE.
  - F. ALL CONDUITS WILL BE INSTALLED AS SPECIFIED AND LOCATED BENEATH ALL OTHER UTILITIES WHERE POSSIBLE. ALTERATIONS TO THIS SPECIFICATION WILL BE DESIGNED OR APPROVED BY THE LOCAL UTILITY COMPANY.
  - G. A "BURIED ELECTRIC LINES" WARNING TAPE (3" MINIMUM WIDTH) WILL BE INSTALLED 12 INCHES DIRECTLY OVER PRIMARY CONDUITS AND 12 INCHES BENEATH FINAL GRADE FOR SAME.
  - H. SECONDARY CONDUITS NOT FOLLOWING A STRAIGHT LINE BETWEEN TERMINATIONS WILL ALSO REQUIRE WARNING TAPE TO BE INSTALLED 12 INCHES BENEATH FINAL GRADE.
  - I. WARNING TAPE WILL BE FURNISHED BY LOCAL UTILITY COMPANY UPON REQUEST.
  - J. ENTIRE EXCAVATED AREA NEAR PAD TO BE BACKFILLED WITH NO. 9 CRUSHED STONE.
  - K. WHEN LOCAL UTILITY COMPANY CONDUCTORS ARE TO BE PARALLEL TO WATER, SEWER AND GAS, THERE MUST BE A MINIMUM OF THREE FEET SEPERATION. WHEN LOCAL UTILITY COMPANY CONDUCTORS ARE TO BE PARALLEL TO CABLE TV OR TELEPHONE, THERE MUST BE A MINIMUM SEPERATION OF ONE FOOT. NO OTHER UTILITIES MAY BE DIRECTLY ABOVE THE POWER CABLES.
  - L. WHEN CROSSING UNDER OTHER BURIED UTILITY LINES, THE LOCAL UTILITY COMPANY REQUIRES A MINIMUM SEPERATION OF TWO FEET. WHEN A SEPERATION OF TWO FEET CAN NOT BE ACHIEVED, THE SEPERATION MAY BE REDUCED TO ONE FOOT WITH A FOUR INCH CONCRETE ENCASEMENT THE LENGTH OF FOUR FEET TO EACH SIDE OF THE BURIED LINE BEING CROSSED.

## GENERAL NOTES

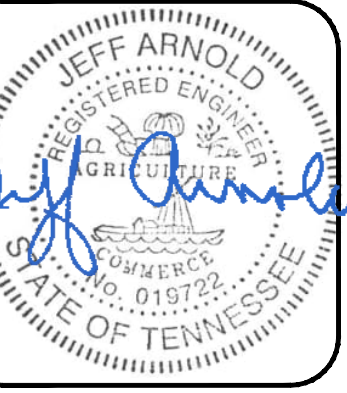
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2. ALL UTILITIES TO BE CONSTRUCTED TO 5' OUTSIDE OF PROPOSED BUILDING.
3. MINIMUM DEPTH OF TRENCHING IS 42 INCHES.
4. DEPTH OF ELECTRICAL AND TELEPHONE CONDUITS SHALL BE ADJUSTED AS REQUIRED TO ALLOW FOR SPECIFIED PLACEMENT OF SANITARY AND STORM SEWER.
5. BACK FILL OF ALL TRENCHES BENEATH STRUCTURES AND/OR PAVEMENT SHALL BE CRUSHED STONE OR SIMILAR MATERIAL AS APPROVED BY ENGINEER.
6. BEFORE YOU DIG:  
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7. DAMAGE CAUSED BY CONTRACTOR TO ANY UTILITIES OR OTHER IMPROVEMENTS SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
8. CONTRACTOR SHALL VERIFY LOCATIONS THAT UTILITIES ENTER THE BUILDING FROM THE ARCHITECTURAL PLANS PRIOR TO INSTALLING UTILITY SERVICE LINE.

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CHECKED BY: A. ARNOLD
APPROVED BY: J. ARNOLD



**C6**  
 ELECTRIC, GAS  
 & TELEPHONE



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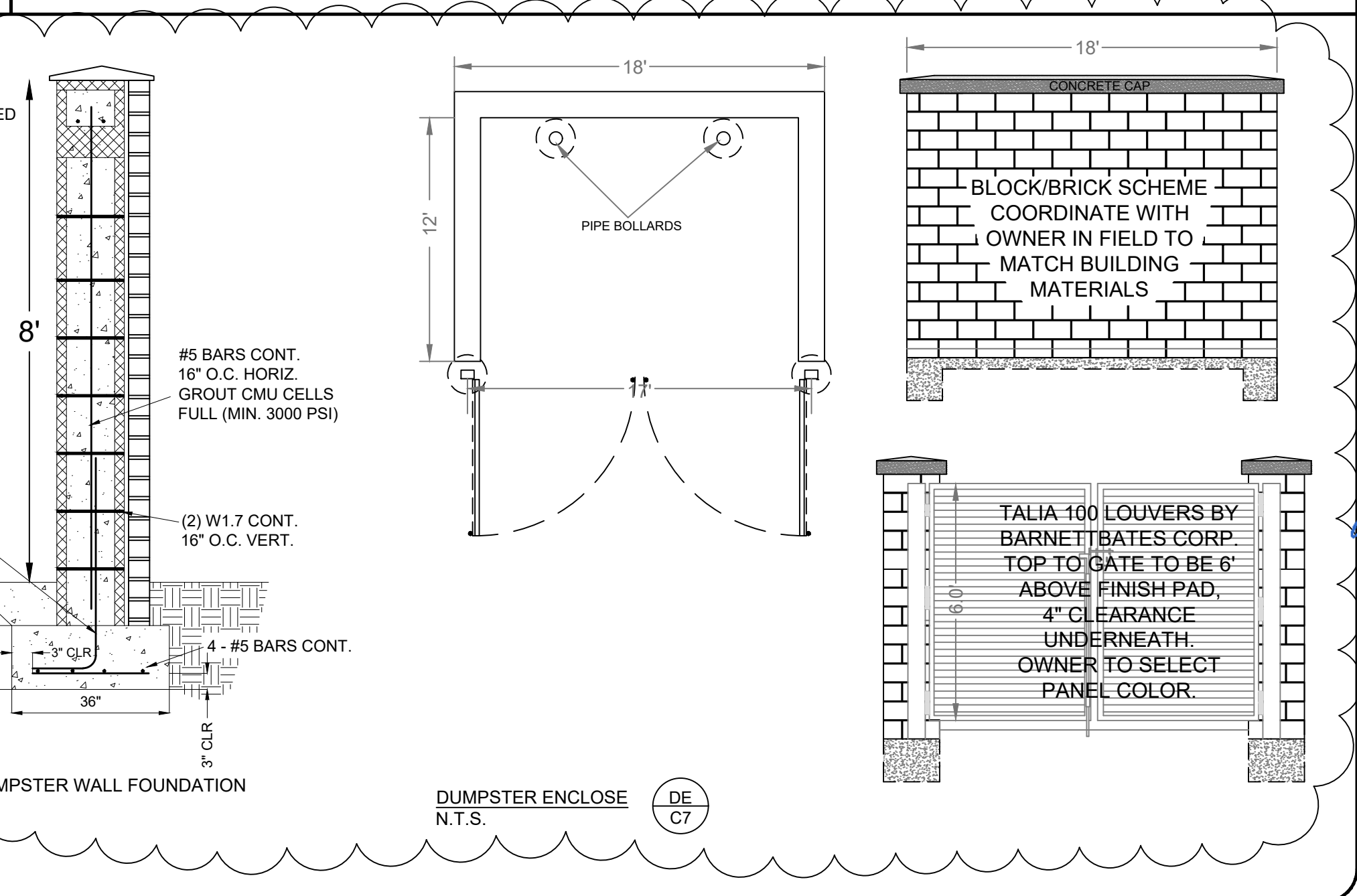
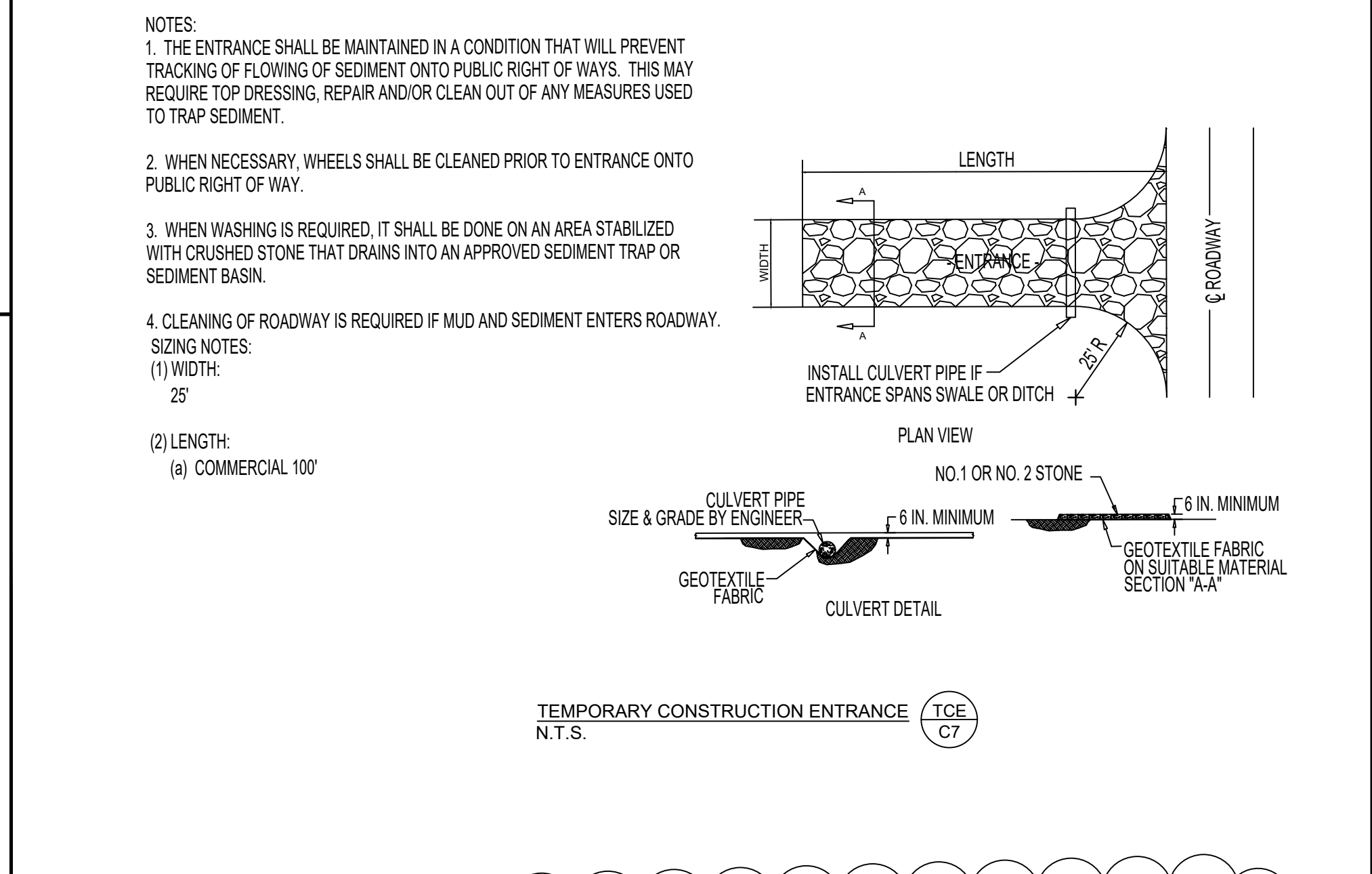
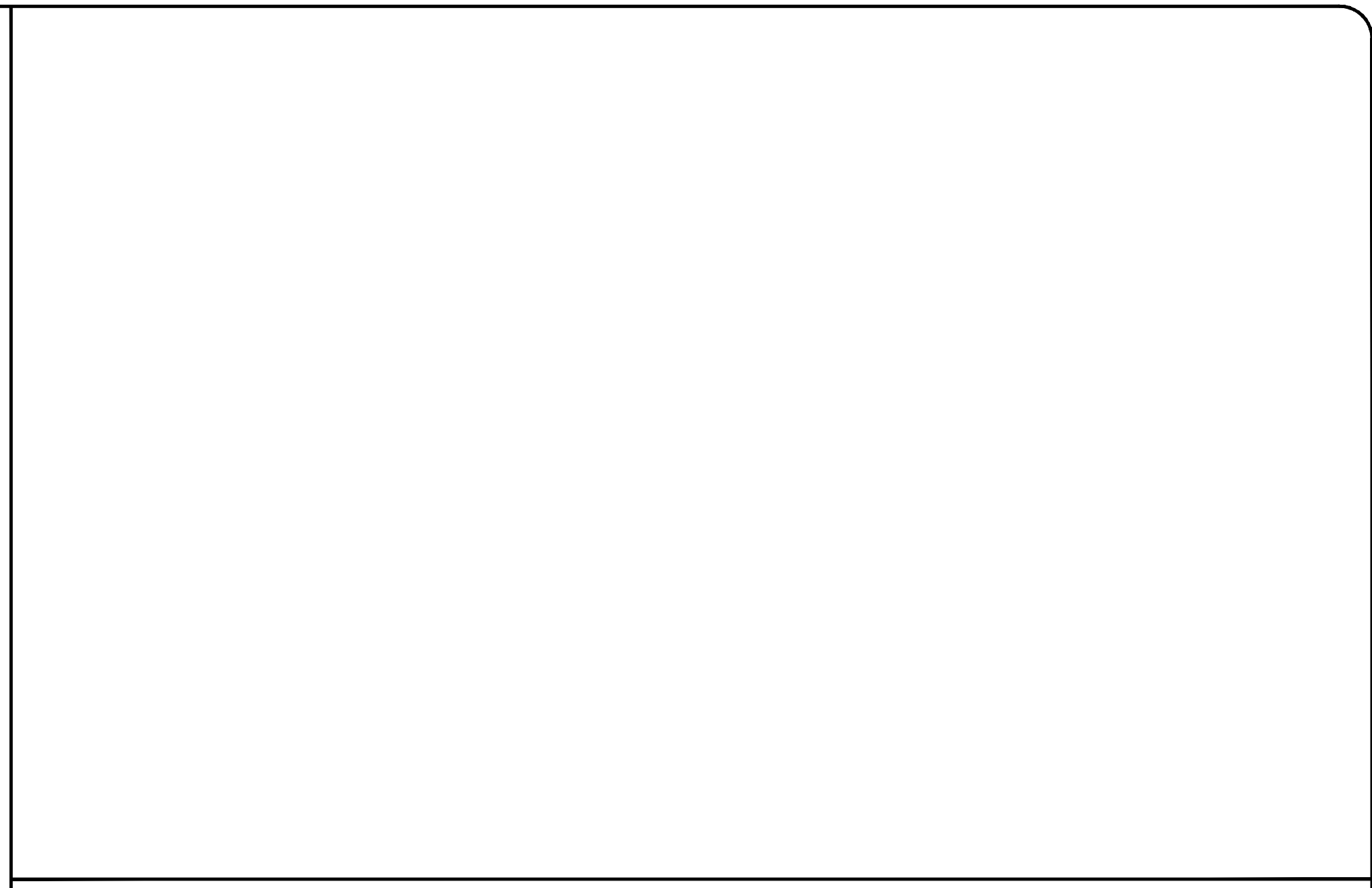
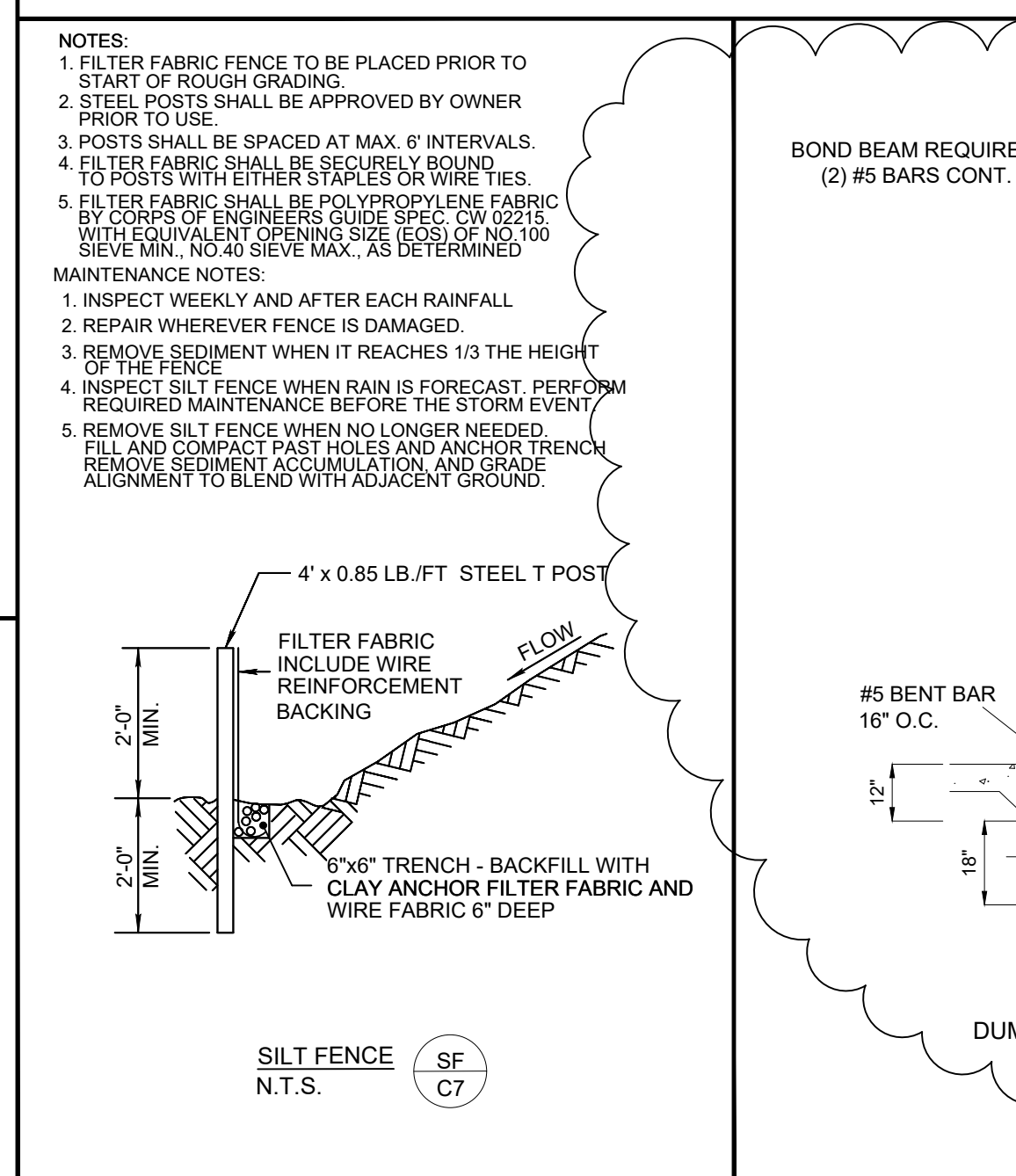
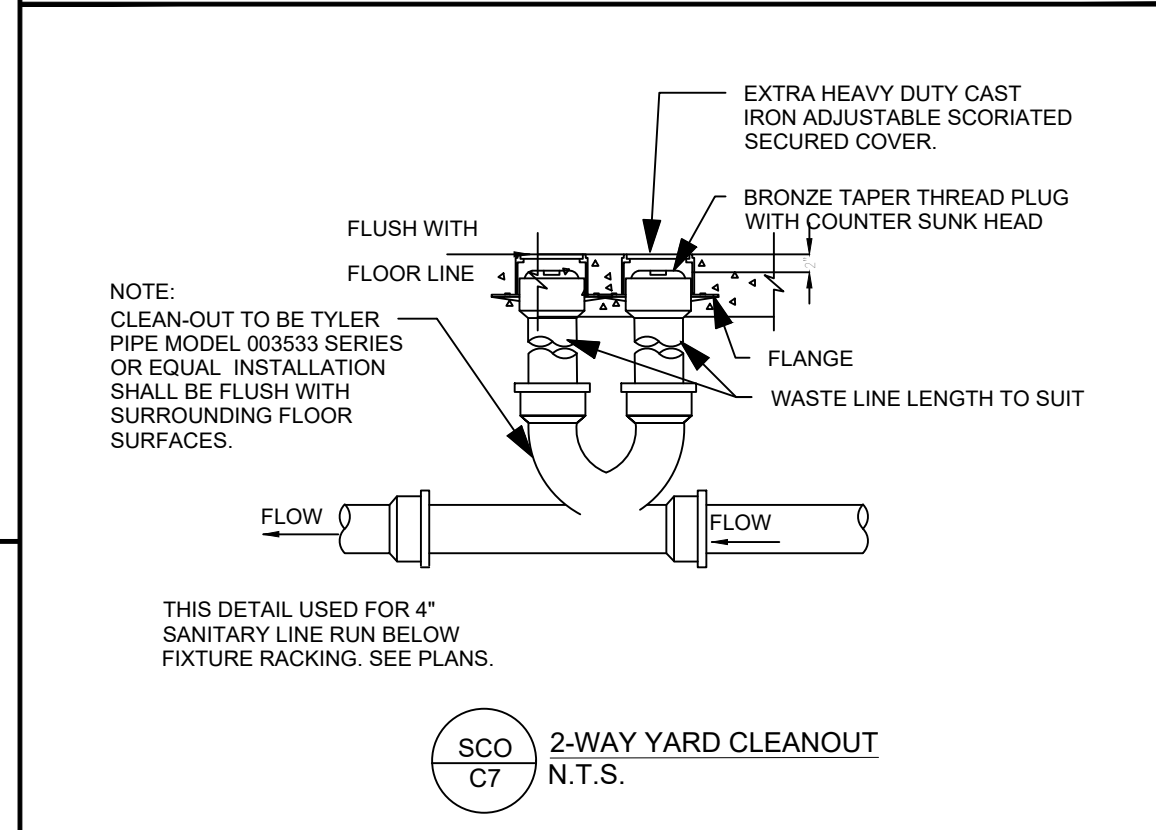
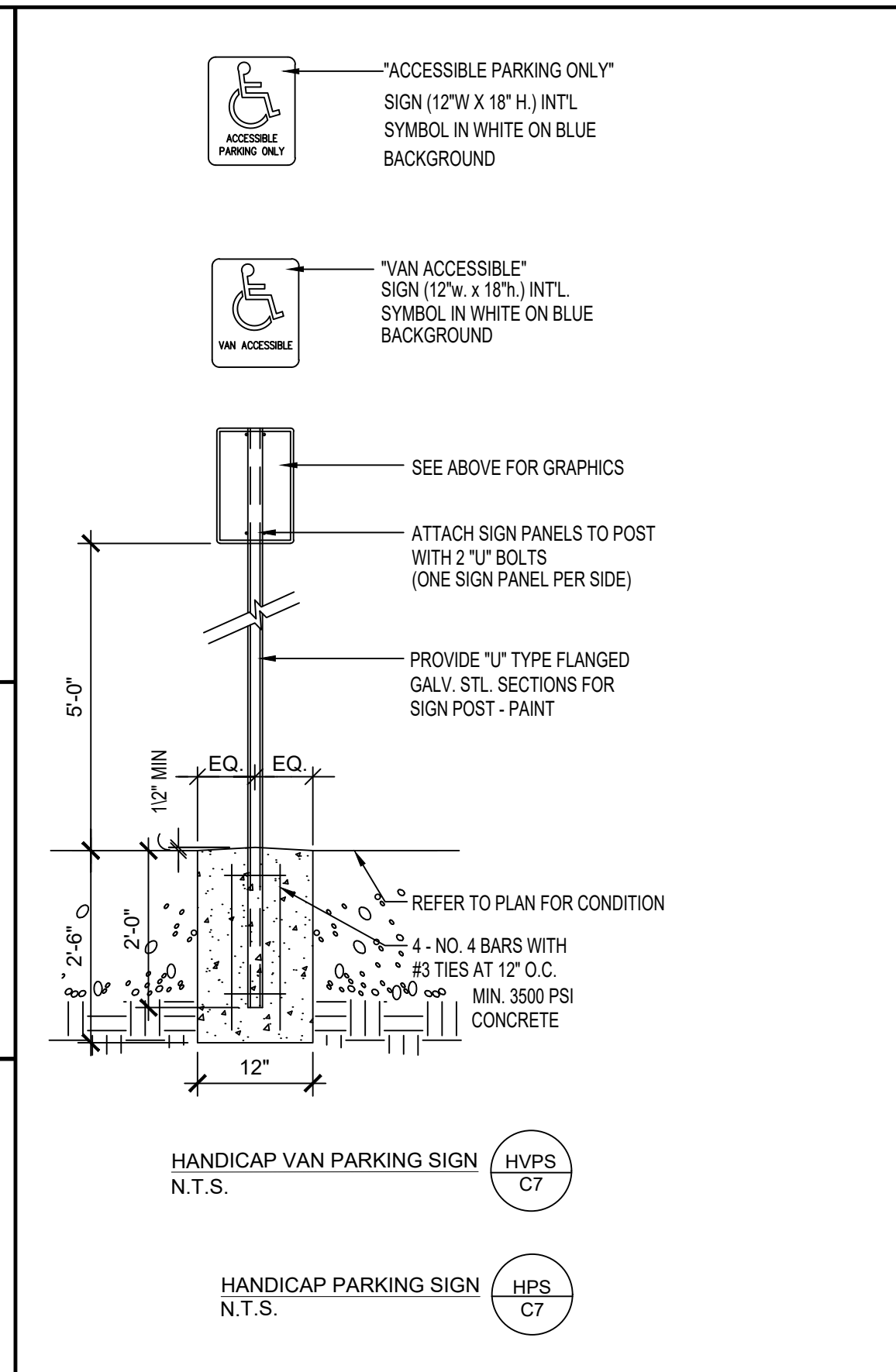
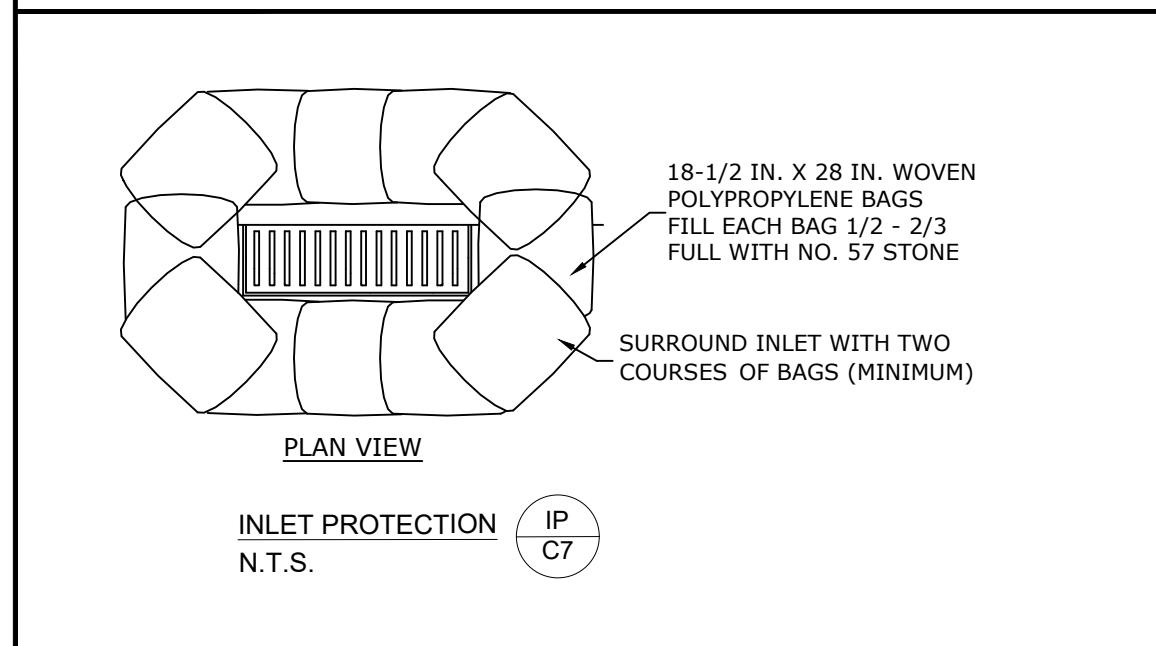
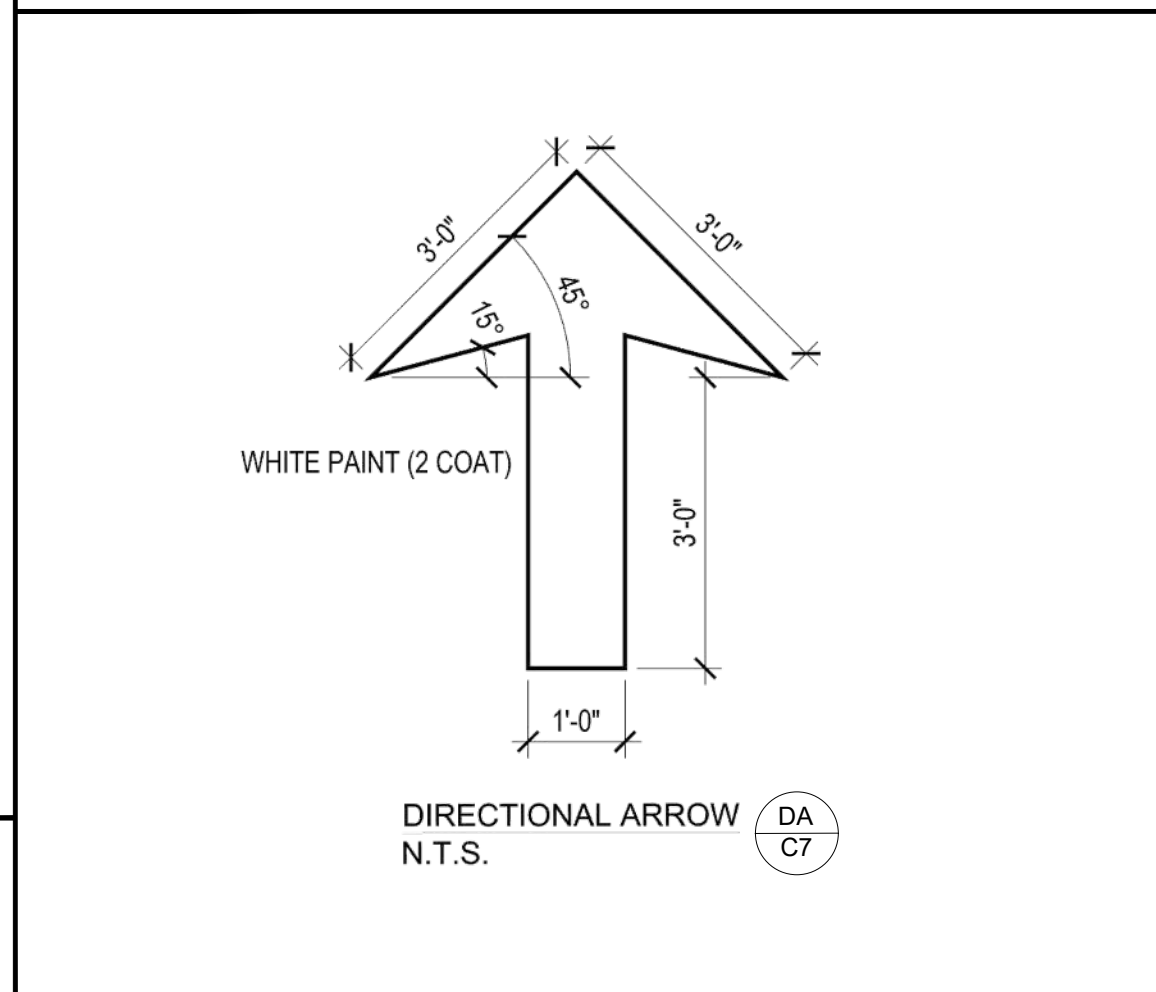
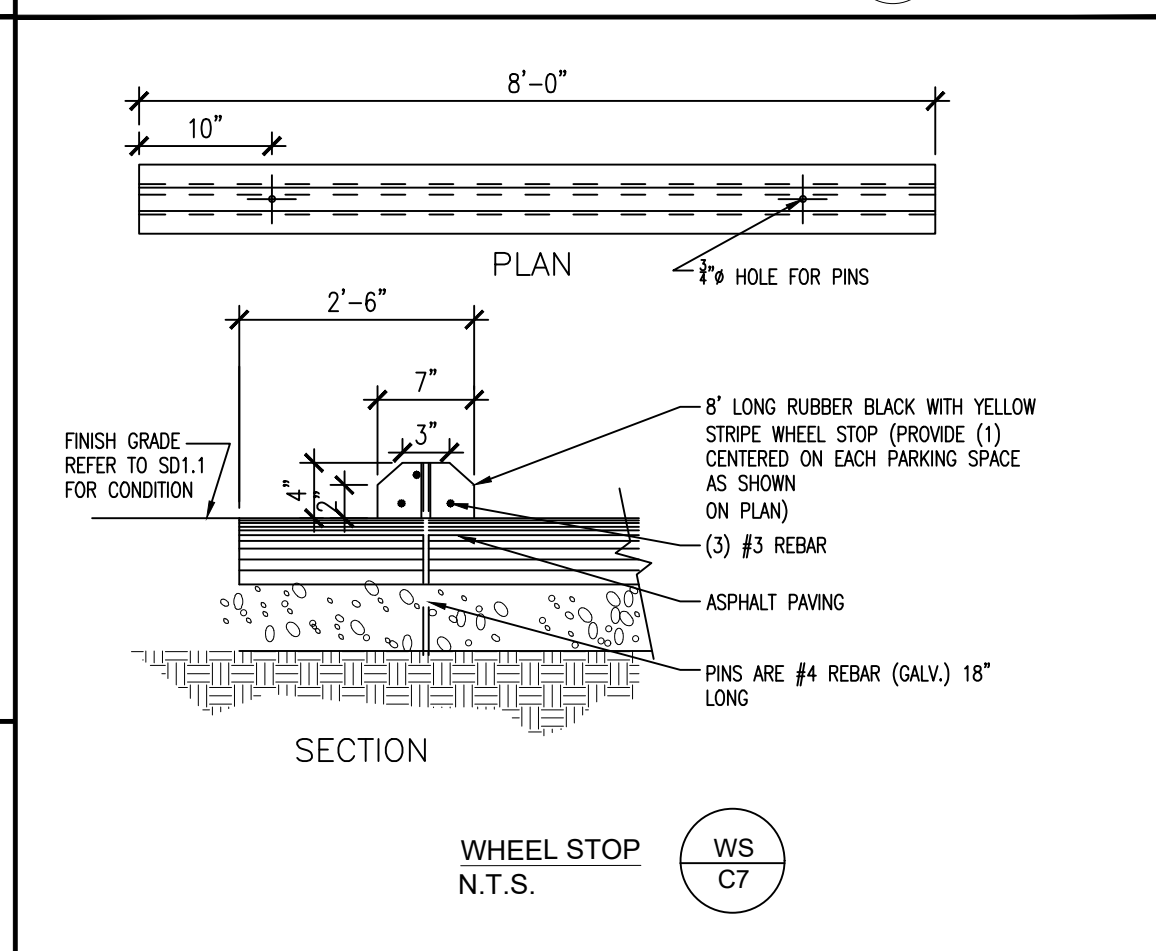
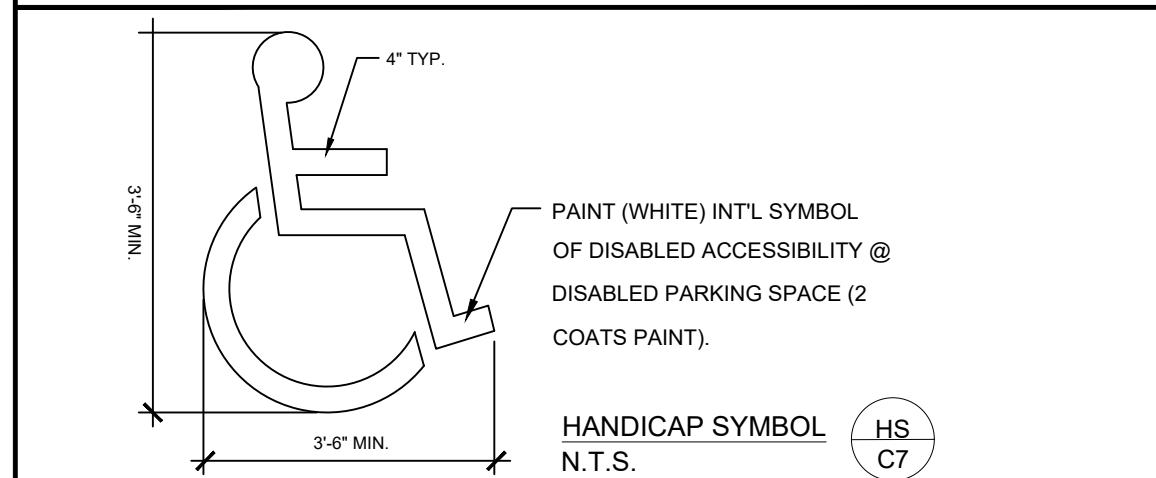
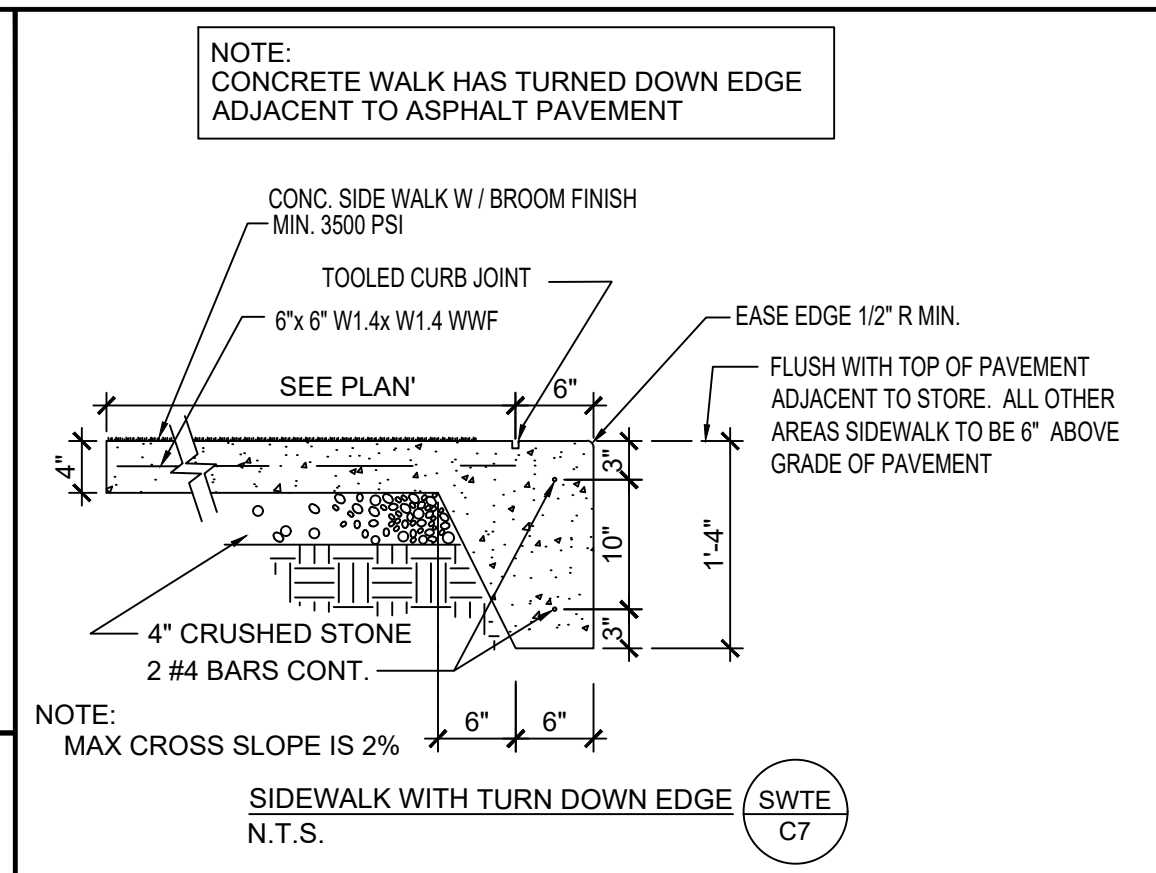
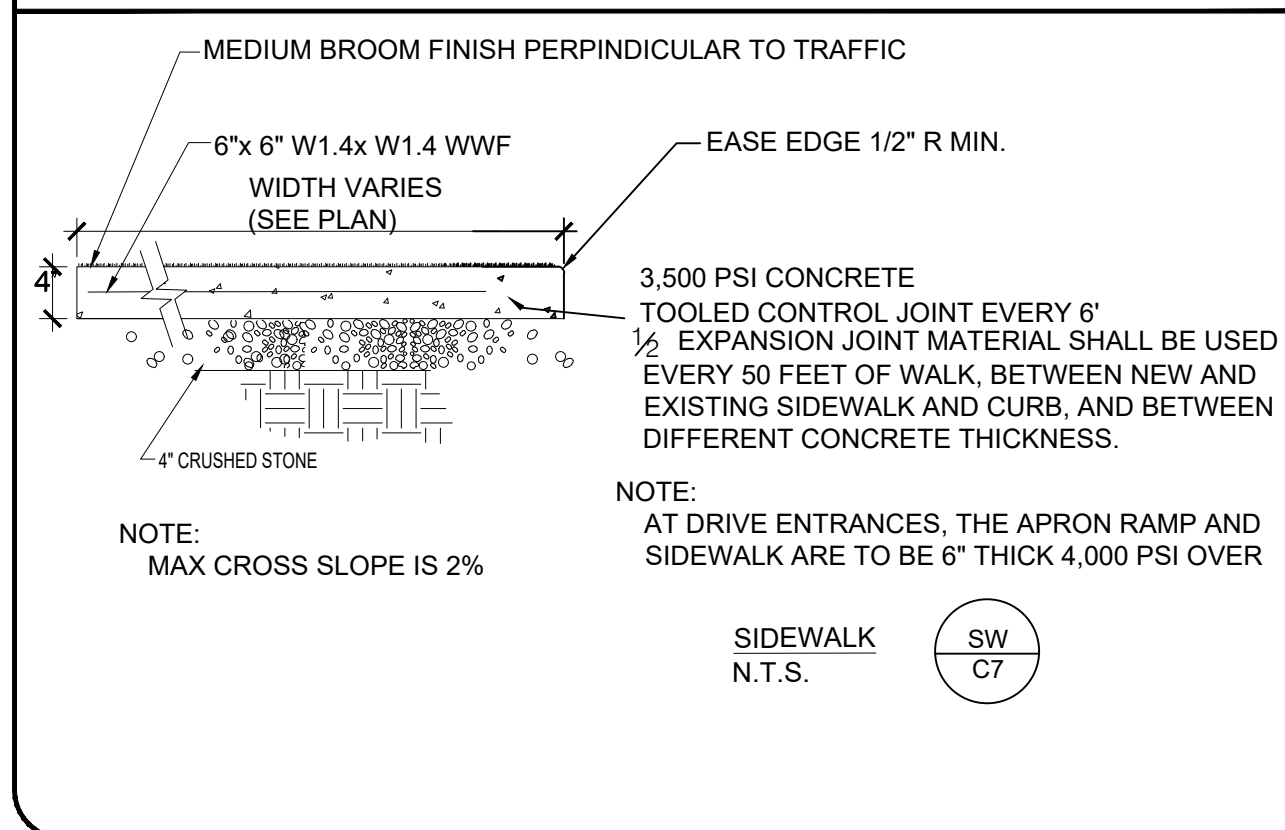
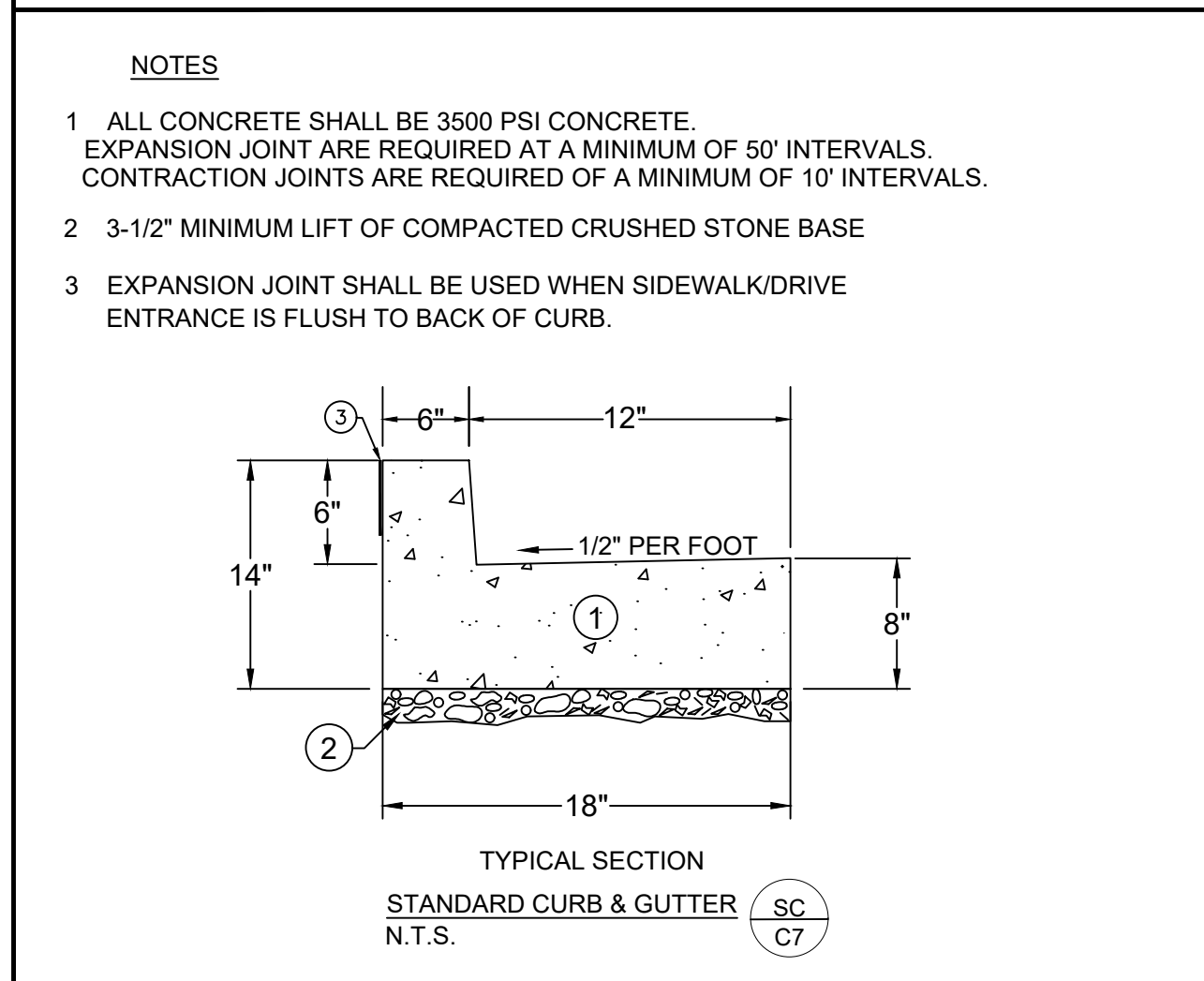
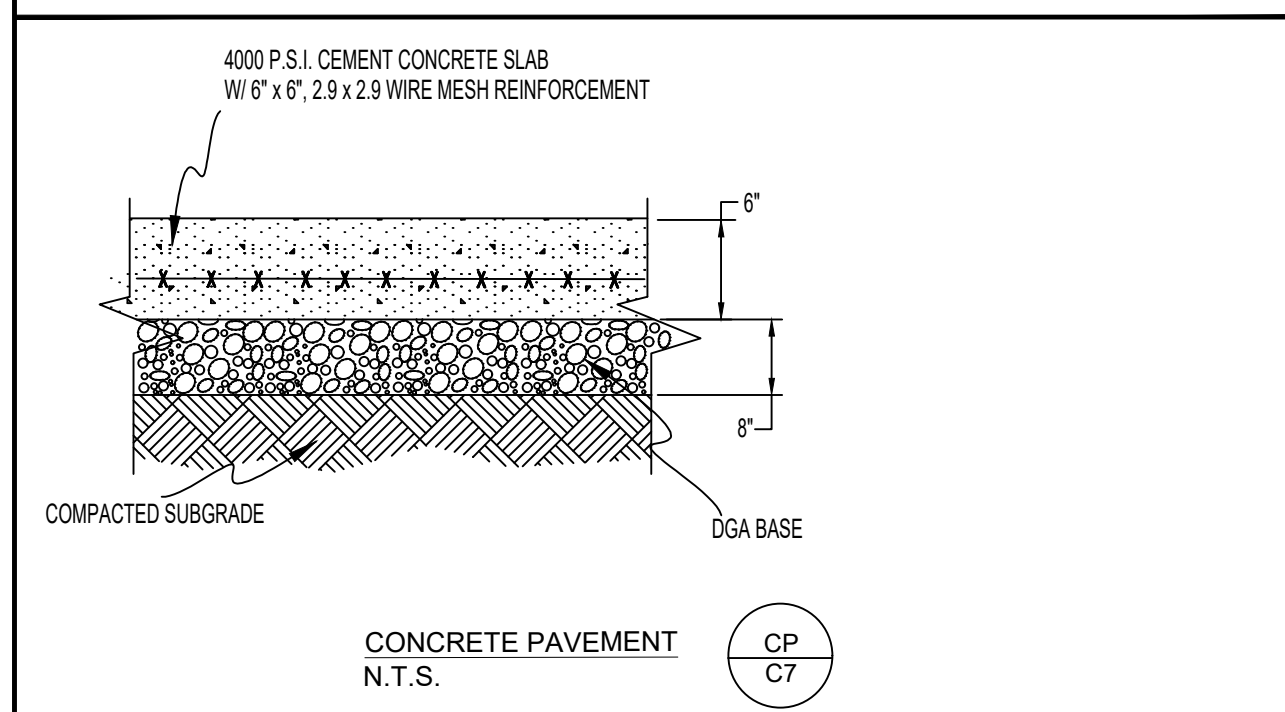
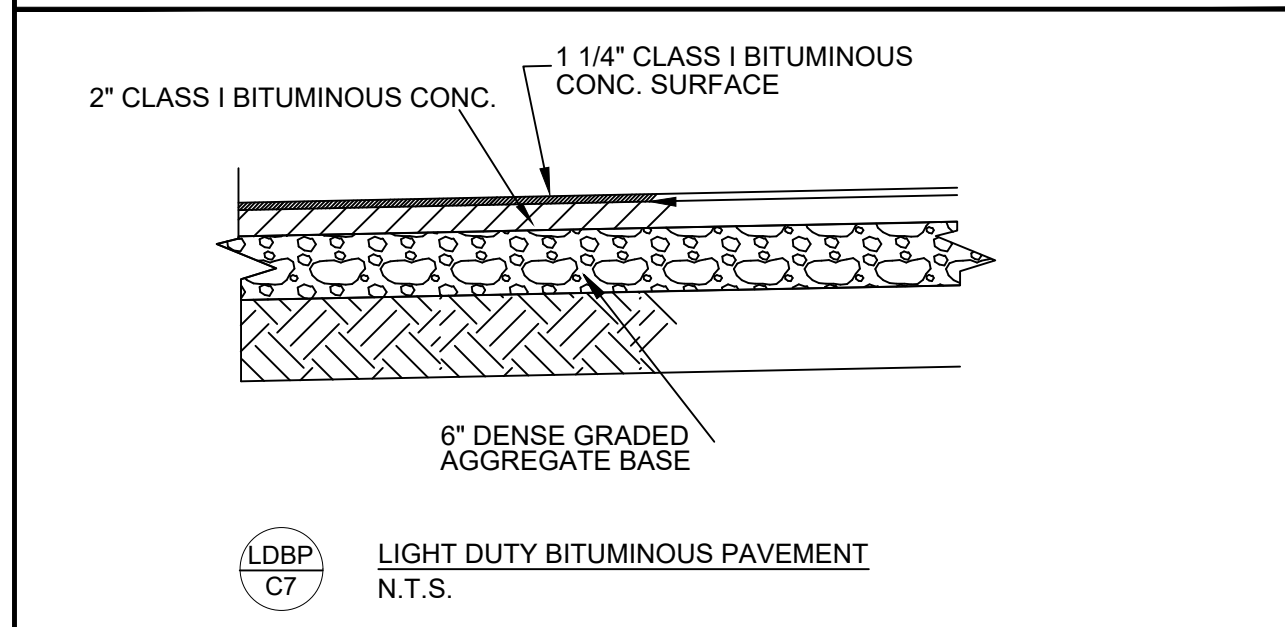
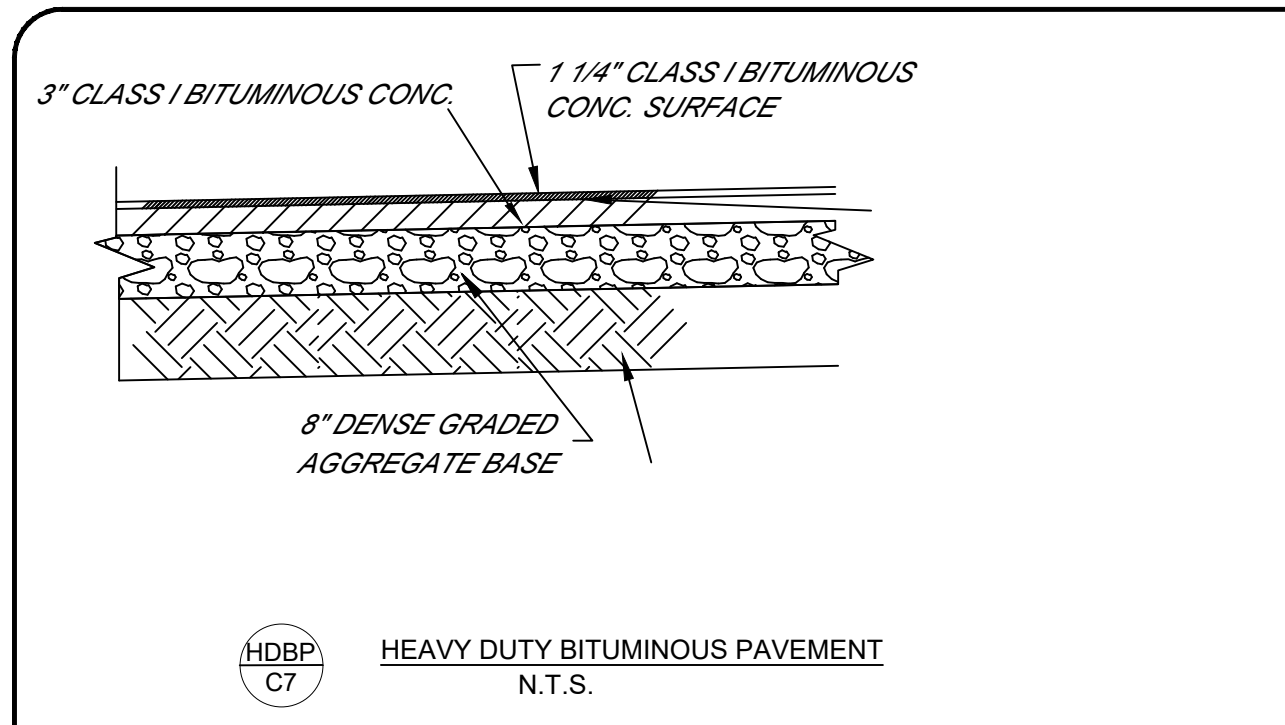
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**BENCHMARK DATA:**

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 ELEV: 440.63
- BENCHMARK 2  
 1/2" IRON PIN W/ 1 1/2" PLASTIC CAP STAMPED  
 "RAGAN SMITH ASSOC." FOUND NEAR THE  
 SOUTHERN PROPERTY LINE  
 N: 727117.79  
 E: 1761899.89  
 ELEV: 436.74





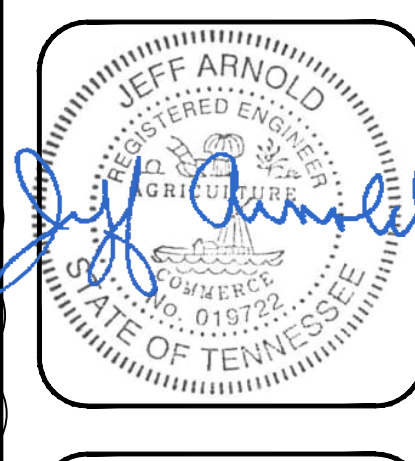
**REVISIONS**

5-22-25	PERF PLANNING
	COMMISSION COMMENTS

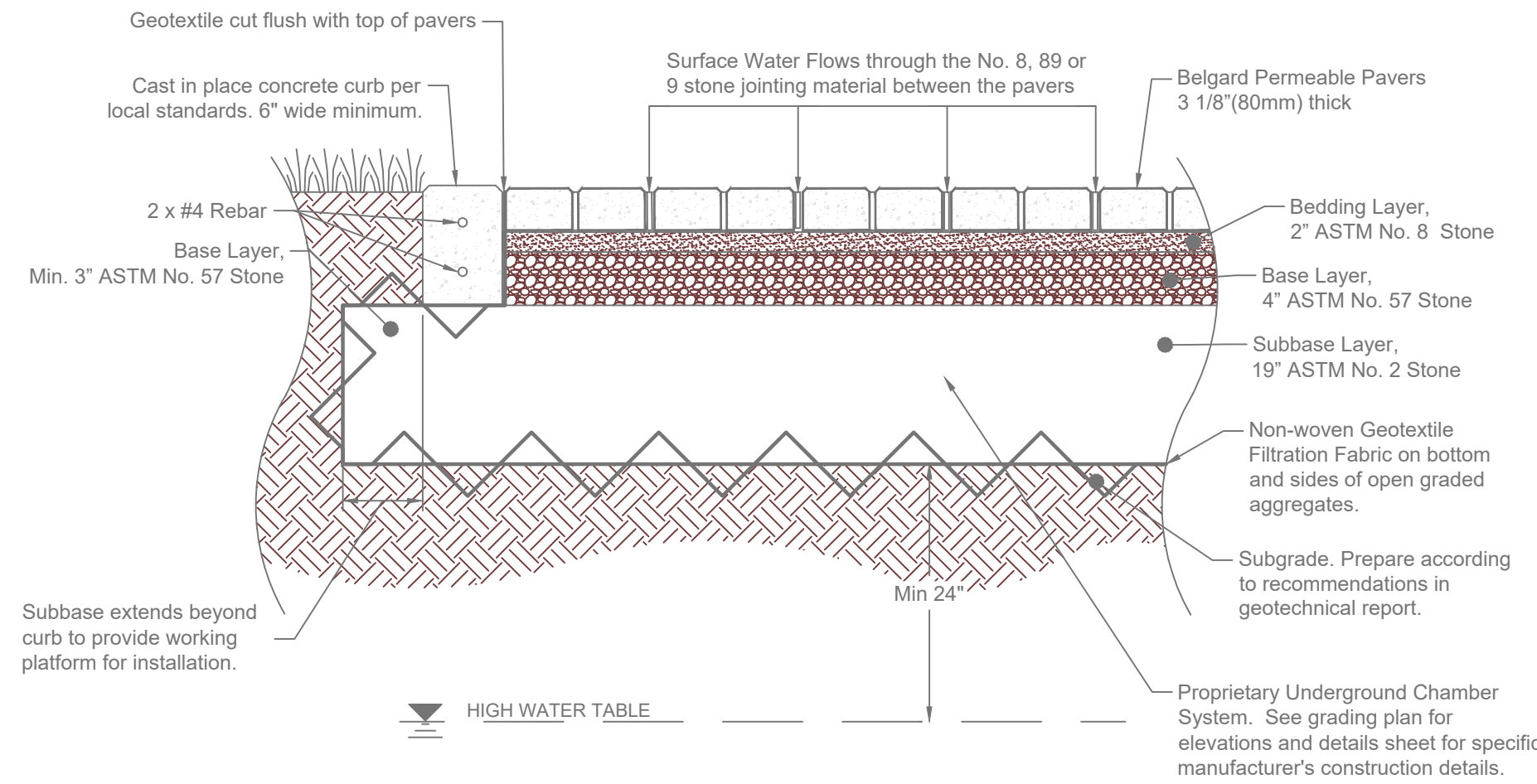
**SKY PEDIATRIC DENTISTRY**  
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**ACES**  
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 ENGINEERING SERVICES, INC.  
 P.O. BOX 1338  
 BOWLING GREEN, KY 42101  
 PHONE (270) 780-9445

**JOB NUMBER:** 25-3046-L  
**DATE:** 3/31/2025  
**SCALE:** N.T.S.  
**DRAWN BY:** A. ARNOLD  
**CHECKED BY:** A. ARNOLD  
**APPROVED BY:** J. ARNOLD



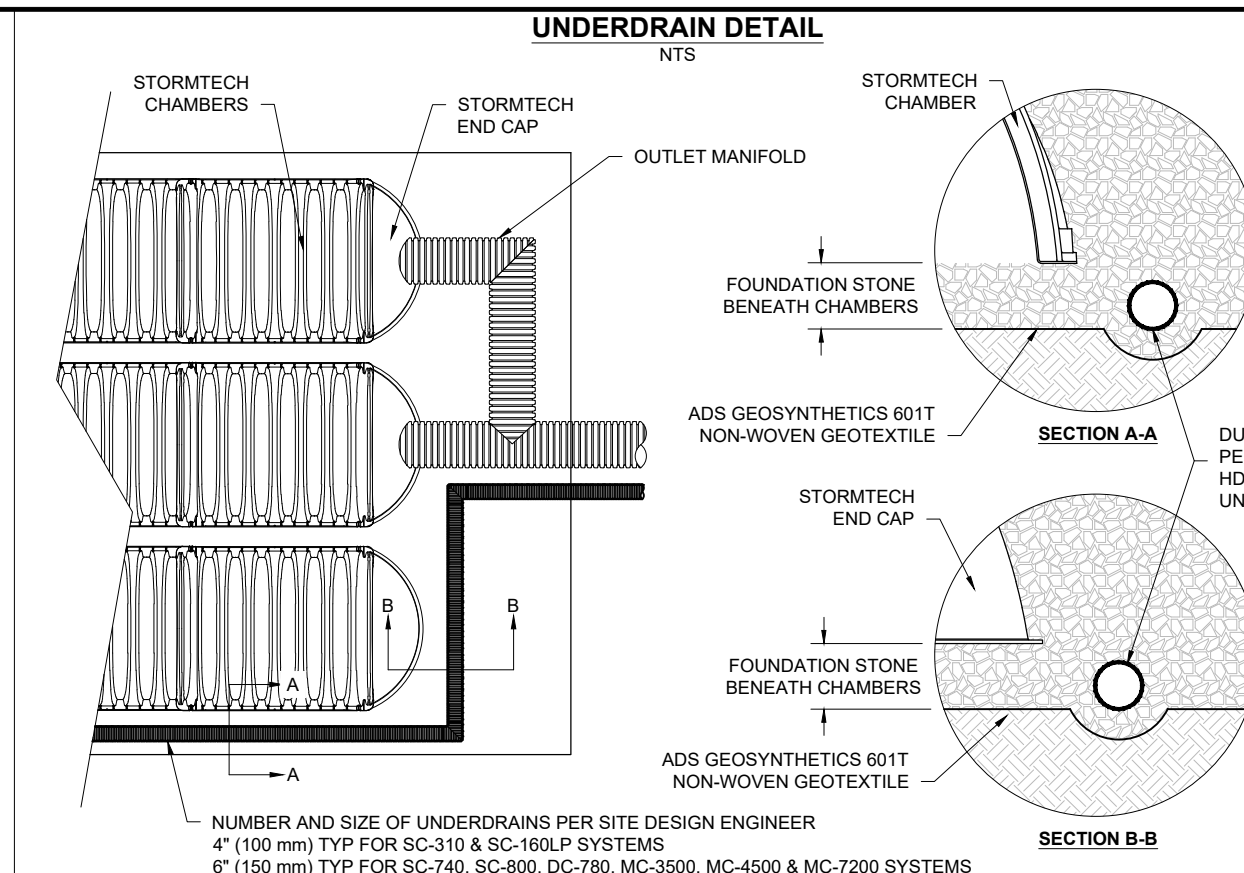
**C7**  
 SITE  
 DETAILS



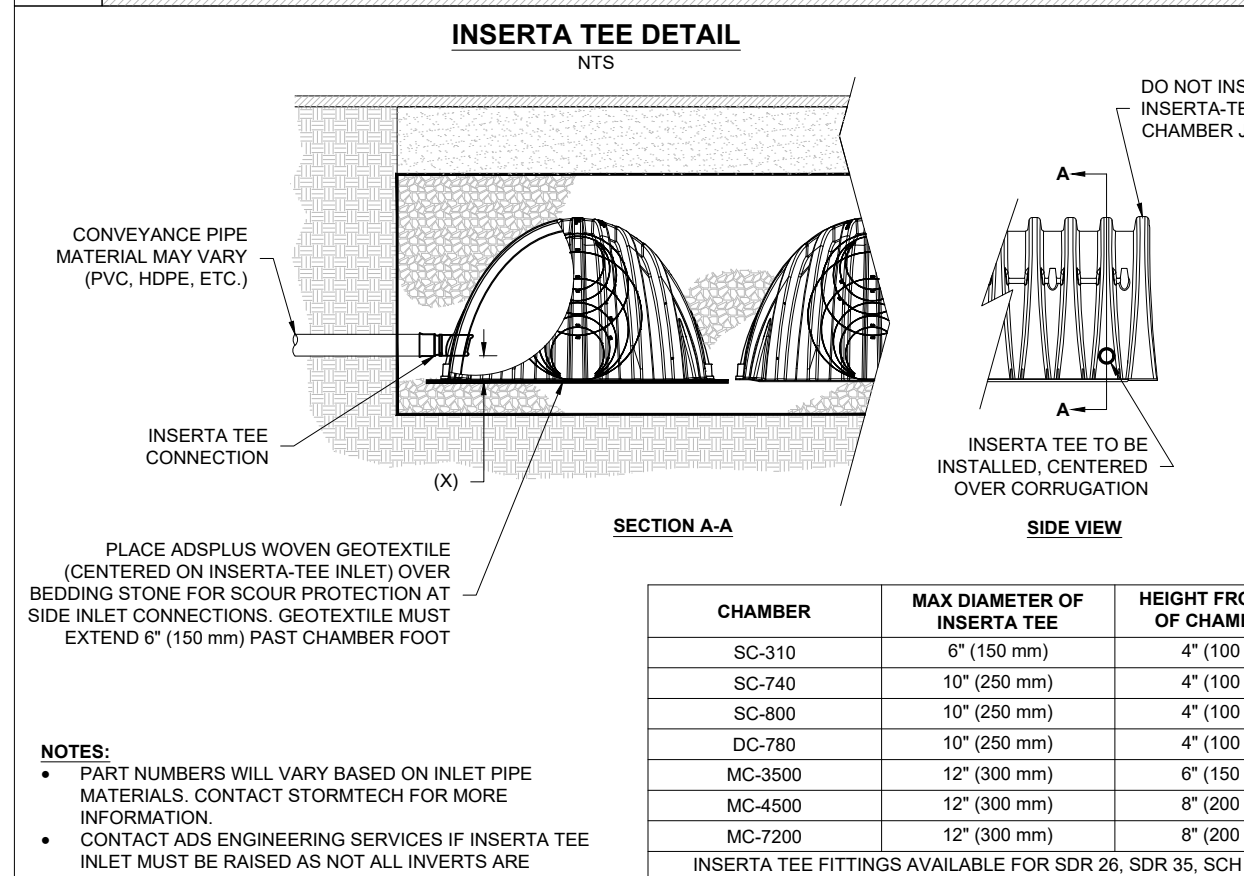
**Design Notes:**

1. Depth of subbase subject to site specific hydraulic and structural requirements. Contact Belgard Commercial for design assistance.
2. Paver dimensions subject to aspect and plan ratio requirements based on traffic loading.
3. Geotechnical engineer needs to balance structural stability and soil infiltration when recommending subgrade conditions.
4. Where the filtration geotextile is used, verify with the manufacturer that the material is not subject to clogging and meets requirements of AASHTO M-288.
5. ASTM No. 2 stone may be substituted with No. 3 or No. 4 stone.

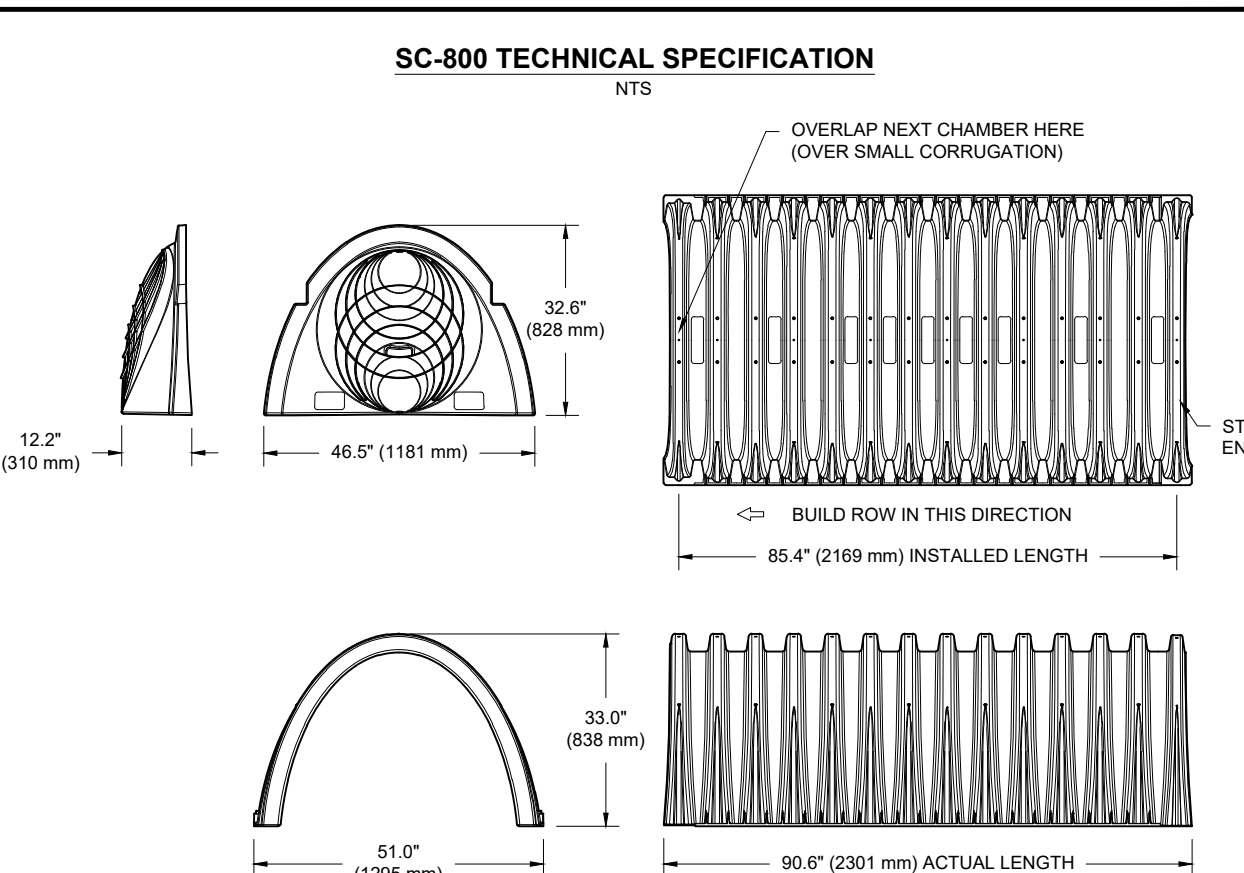
PP C8 PERVIOUS PAVERS



**5 UNDERDRAIN DETAIL**



**6 INSERTA-TEE SIDE INLET DETAIL**



**SC-800 TECHNICAL SPECIFICATION**

**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
51.0" X 33.0" X 85.4"	50.6 CUBIC FEET (1.43 m <sup>3</sup> )	81.0 CUBIC FEET (2.29 m <sup>3</sup> )	81.8 lbs. (37.1 kg)
(1295 mm X 838 mm X 2169 mm)	3.4 CUBIC FEET (0.99 m <sup>3</sup> )	15.4 CUBIC FEET (0.43 m <sup>3</sup> )	15.7 lbs. (7.1 kg)

**NOMINAL END CAP SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE**	WEIGHT
46.5" X 32.6" X 10.5"	3.4 CUBIC FEET (0.99 m <sup>3</sup> )	15.4 CUBIC FEET (0.43 m <sup>3</sup> )	15.7 lbs. (7.1 kg)

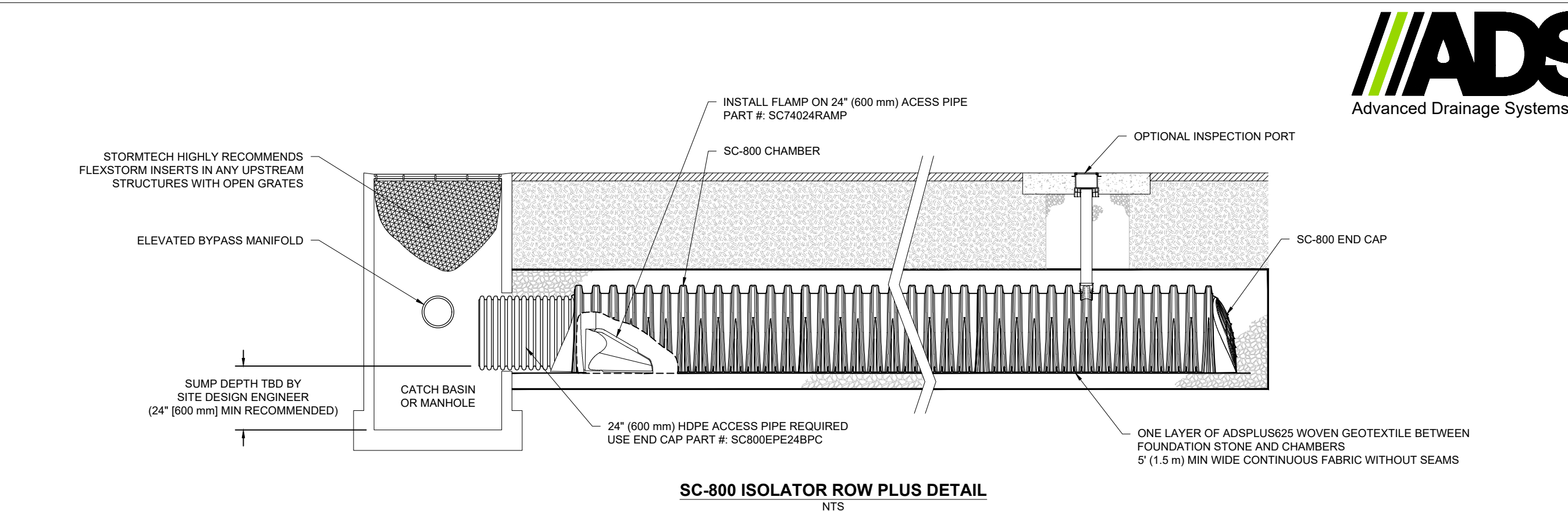
\* ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS  
\*\* ASSUMES 6" (152 mm) STONE ABOVE AND BELOW END CAPS, 6" (152 mm) BETWEEN ROWS, 12" (305 mm) BEYOND END CAPS

PRE-CORED HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "BPC"  
PRE-CORED HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "TRC"

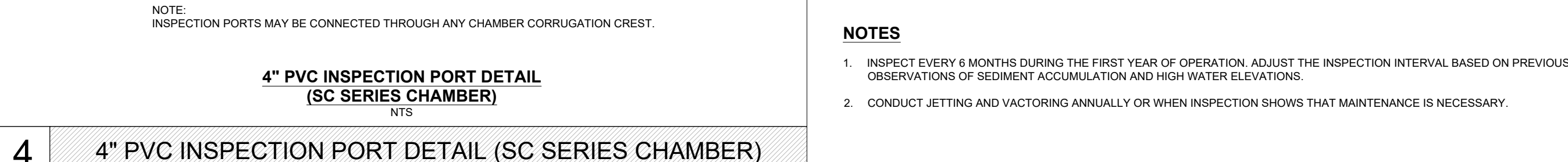
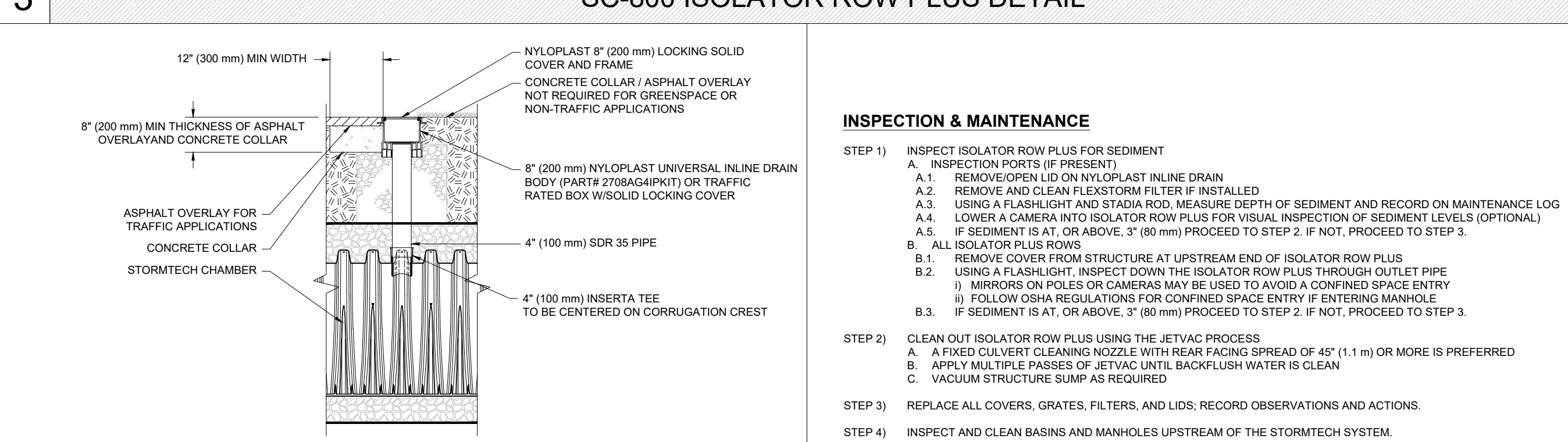
PART #	STUB	B	C
SC800PE06TPC	6" (150 mm)	21.4" (544 mm)	---
SC800PE08BPC	---	---	0.9" (23 mm)
SC800PE08TRC	8" (200 mm)	19.2" (488 mm)	---
SC800PE08BPC	---	---	1.0" (25 mm)
SC800PE10TPC	10" (250 mm)	17.0" (432 mm)	---
SC800PE10BPC	---	---	1.2" (30 mm)
SC800PE12TRC	12" (300 mm)	14.4" (366 mm)	---
SC800PE12BPC	---	---	1.0" (41 mm)
SC800PE15TPC	15" (375 mm)	11.3" (287 mm)	---
SC800PE15BPC	---	---	1.7" (43 mm)
SC800PE18TRC	18" (450 mm)	8.0" (203 mm)	---
SC800PE18BPC	---	---	2.0" (51 mm)
SC800PE24BPC	24" (600 mm)	---	2.3" (58 mm)
SC800PE	NONE	---	SOLID END CAP

NOTE: ALL DIMENSIONS ARE NOMINAL

**2 SC-800 TECHNICAL SPECIFICATIONS**



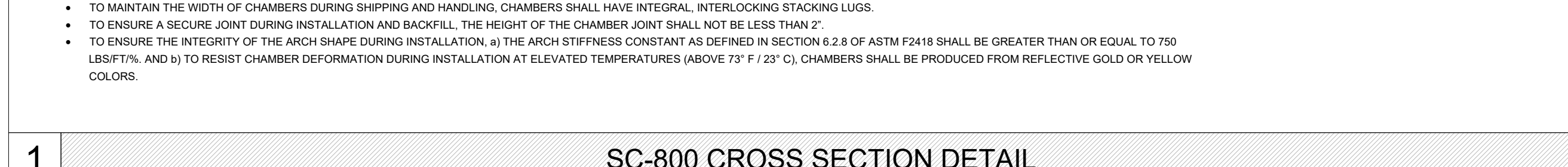
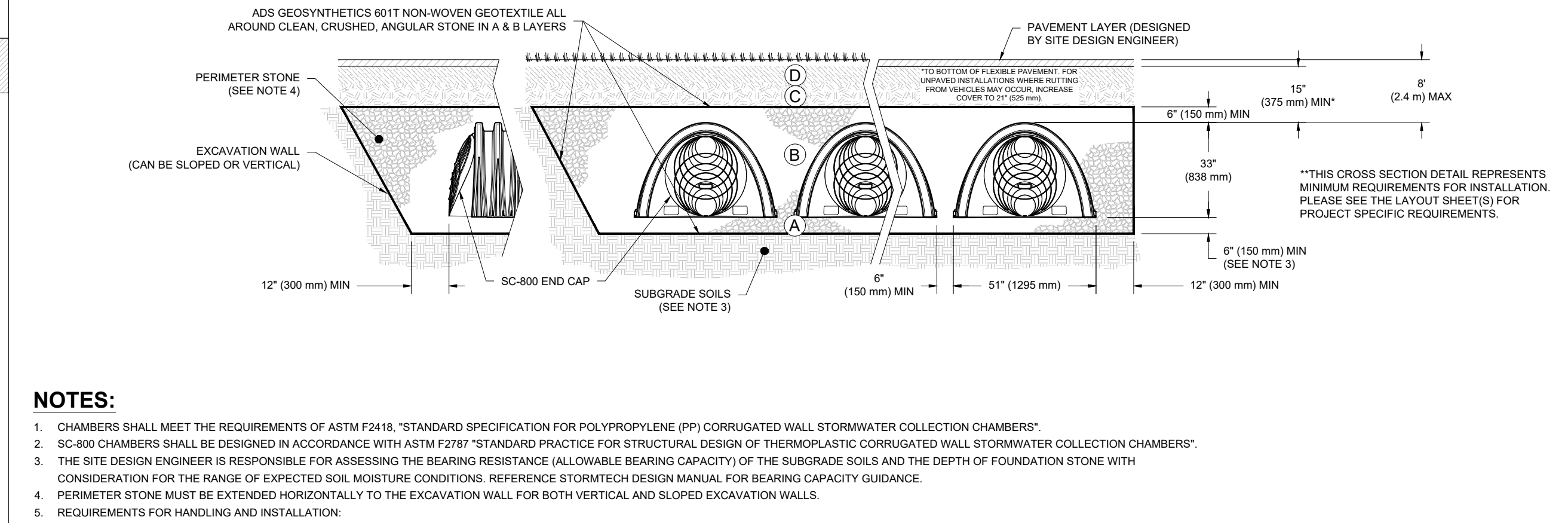
**3 SC-800 ISOLATOR ROW PLUS DETAIL**



**ACCEPTABLE FILL MATERIALS: STORMTECH SC-800 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT	
D	<b>FINAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	
C	<b>INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 15" (375 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 <sup>1</sup> A-1, A-2.4, A-3 OR AASHTO M43 <sup>2</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	<b>EMBEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE <sup>3</sup>	AASHTO M43 <sup>2</sup> 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	<b>FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE <sup>3</sup>	AASHTO M43 <sup>2</sup> 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup>

PLEASE NOTE:  
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."  
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAMMING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.  
3. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.  
4. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL."



**1 SC-800 CROSS SECTION DETAIL**

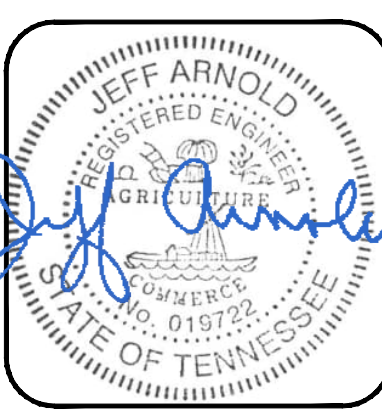
**REVISIONS**

NO.	DATE	DESCRIPTION
5-22-25	PERF PLANNING	COMMISSION COMMENTS

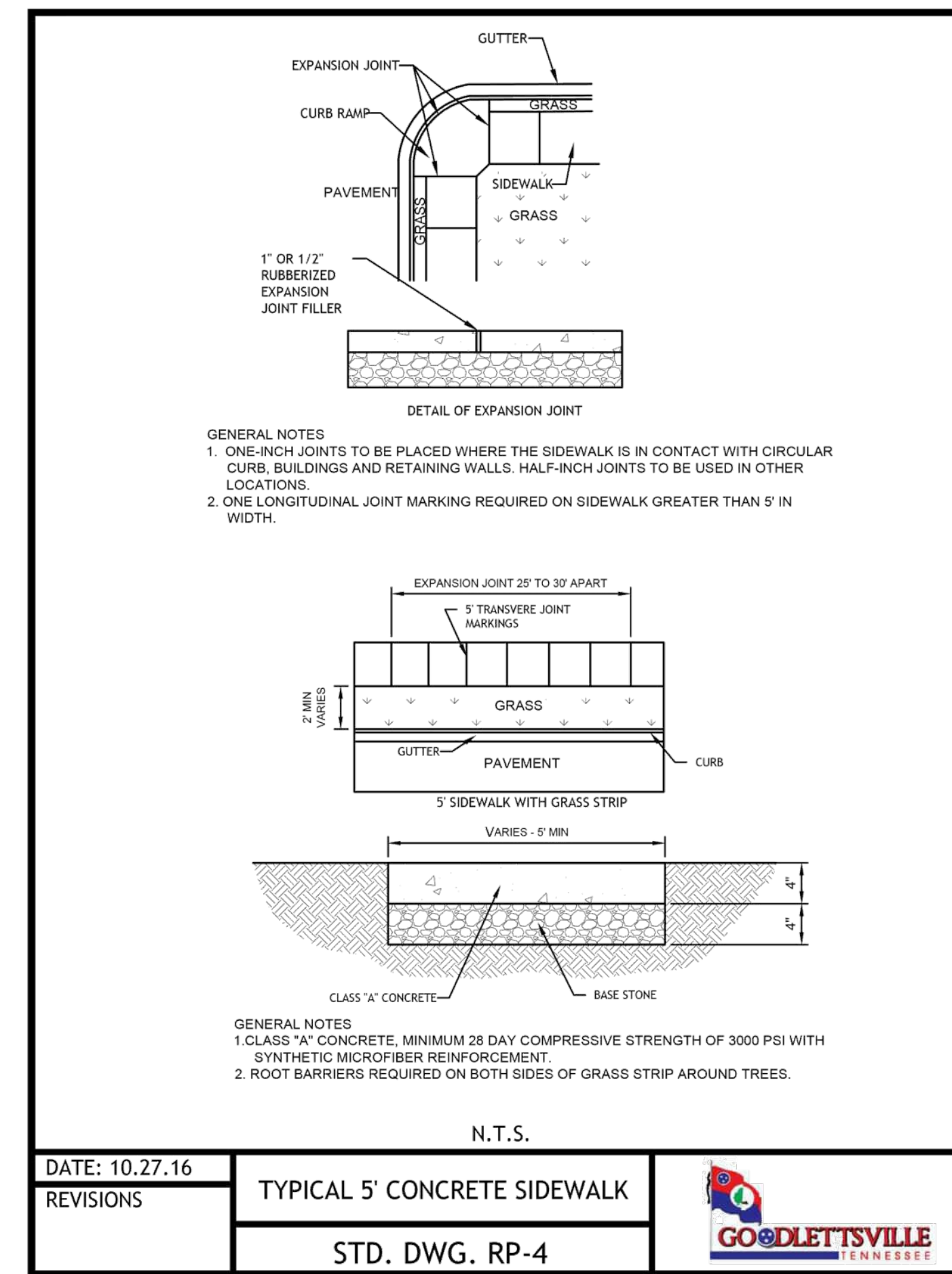
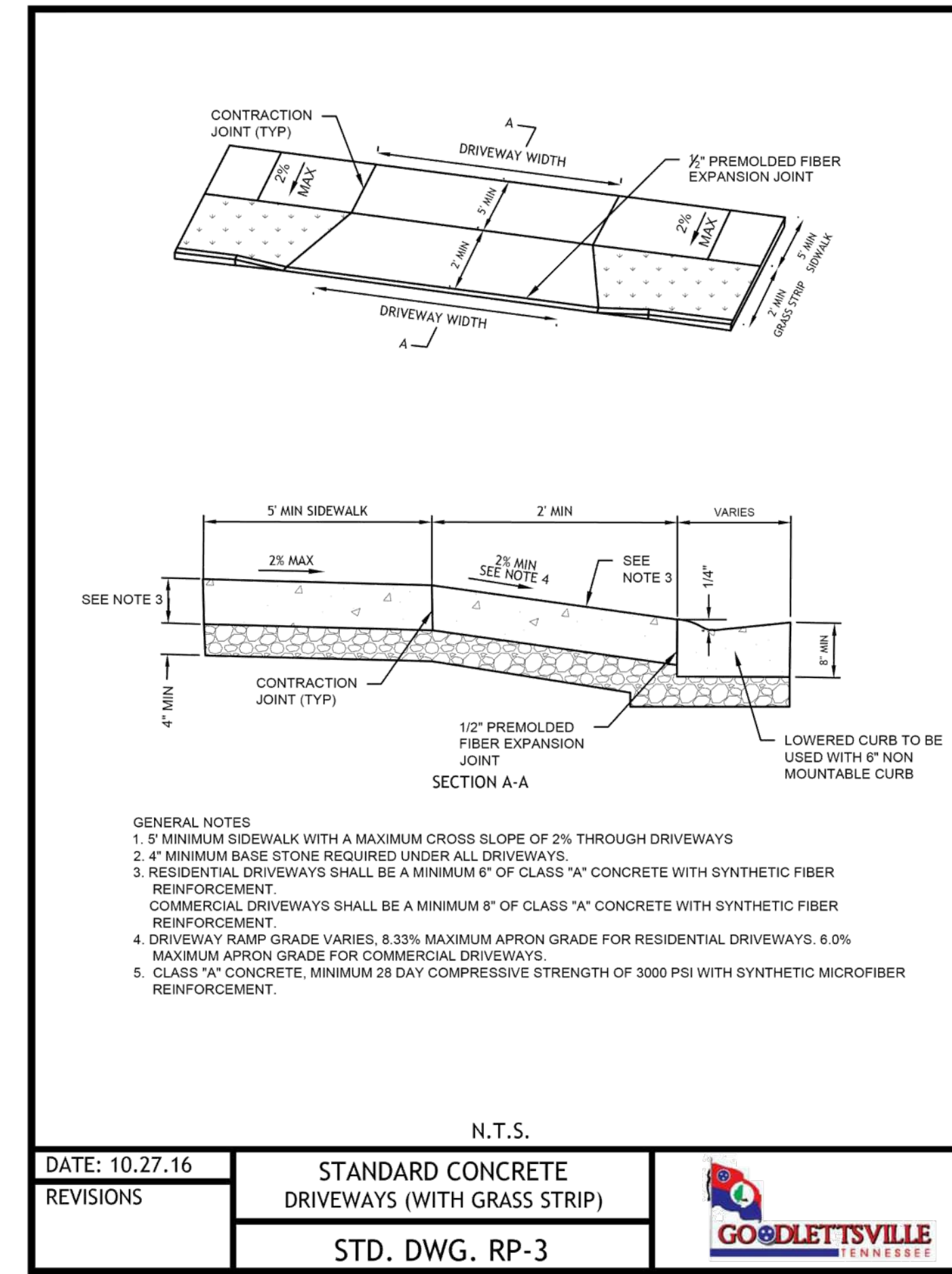
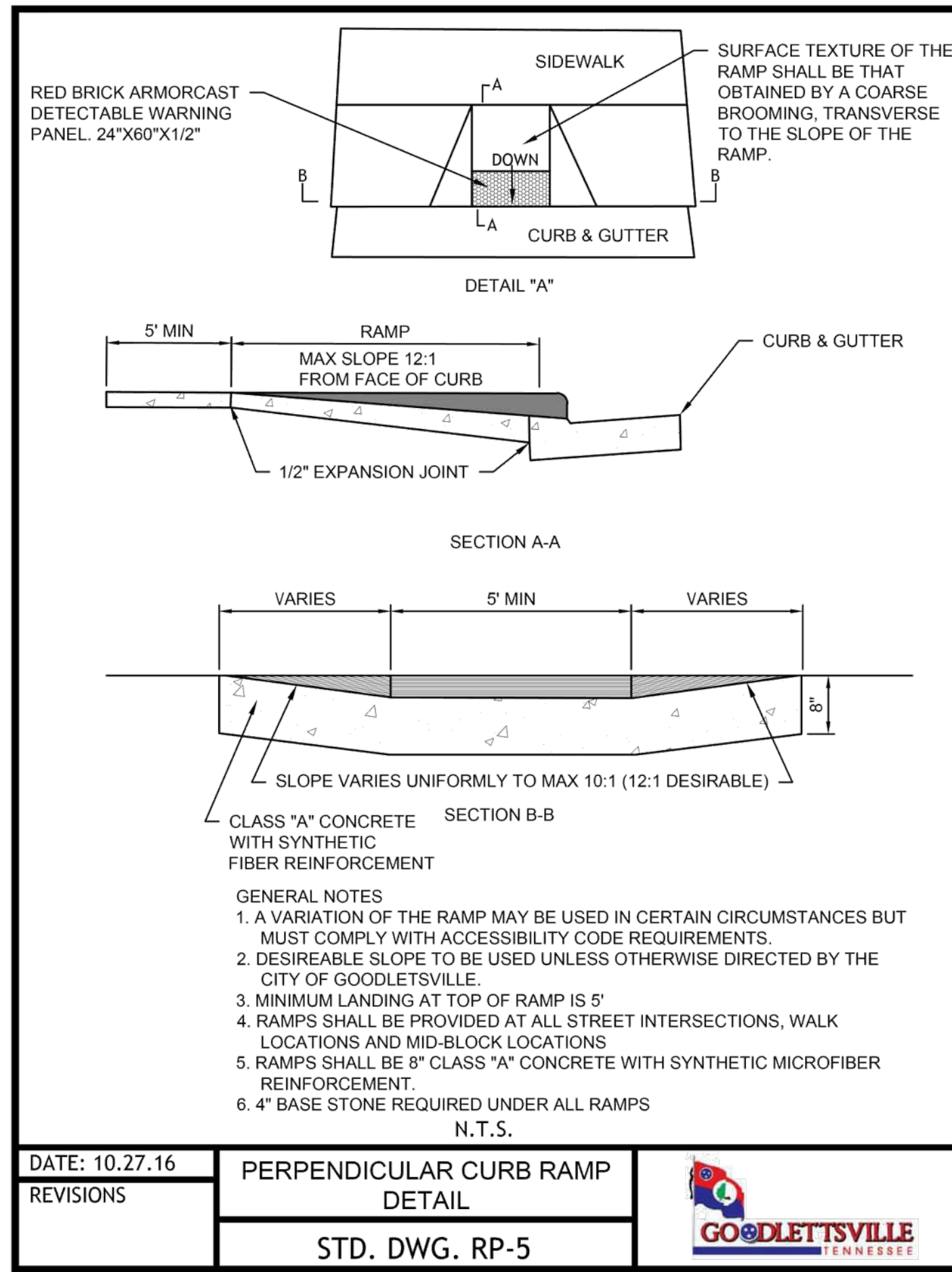
**SKY PEDIATRIC DENTISTRY**  
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**ACES**  
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JOB NUMBER: 25-3046-L  
DATE: 3/31/2025  
SCALE: 1" = 30"  
DRAWN BY: A. ARNOLD  
CHECKED BY: A. ARNOLD  
APPROVED BY: J. ARNOLD



**C8**  
SITE DETAILS



REVISIONS
5-22-25 - PER PLANNING COMMISSION COMMENTS

**SKY PEDIATRIC DENTISTRY**  
 3106 BUSINESS PARK CIRCLE  
 GOODLETTSVILLE, TN 37072

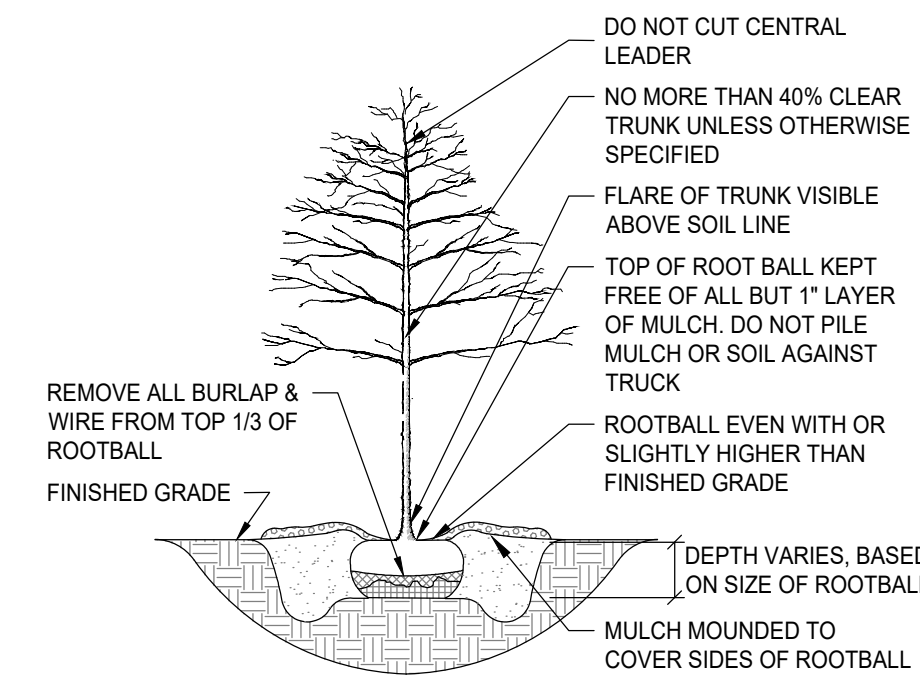
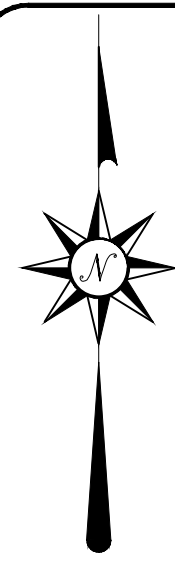
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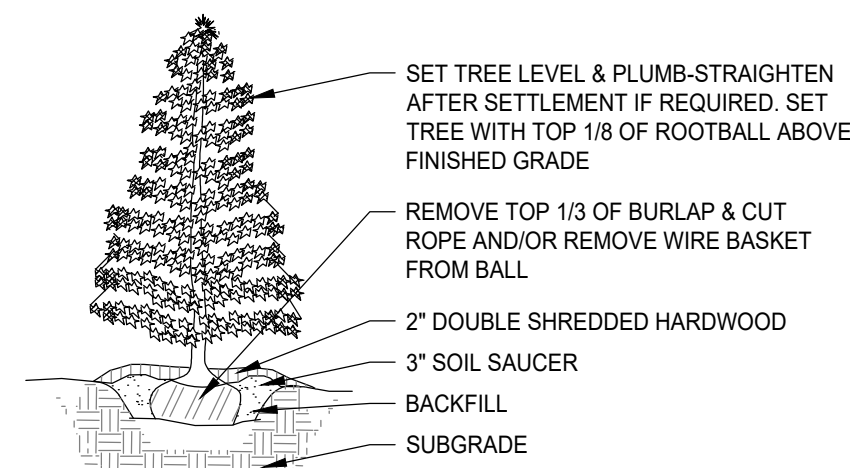


**C9**  
 SITE DETAILS

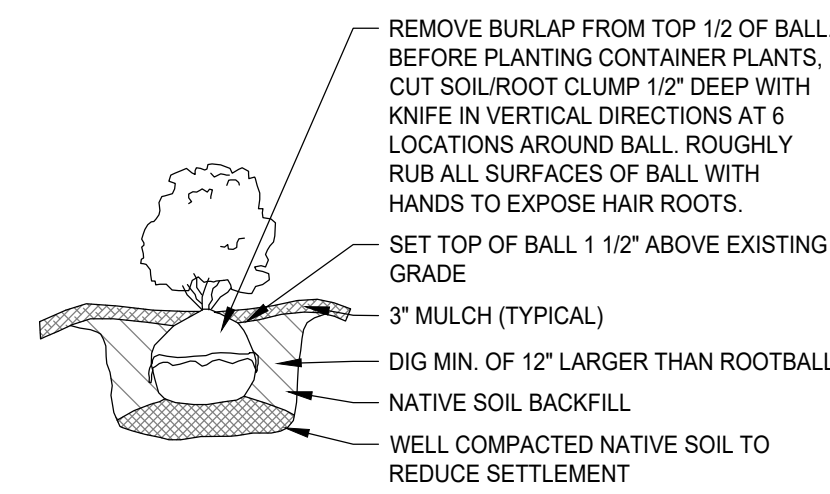
# THIS SHEET IS FOR LANDSCAPE USE ONLY



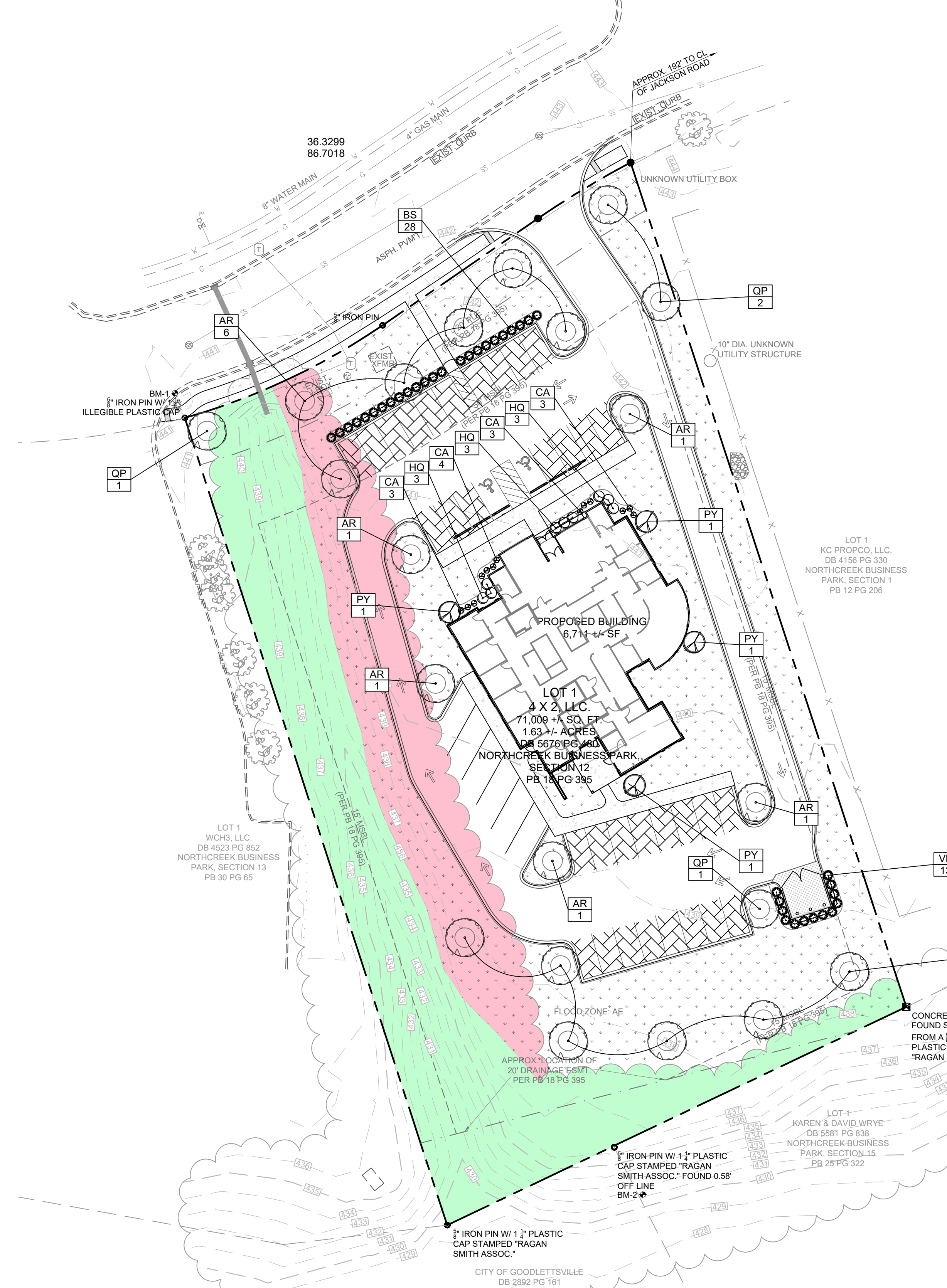
**TYPICAL PLANTING DETAIL - TREES**  
NOT TO SCALE



**TYPICAL PLANTING DETAIL - EVERGREEN TREES**  
NOT TO SCALE



**TYPICAL PLANTING DETAIL - SHRUB**  
NOT TO SCALE



### LANDSCAPE NOTES

1. PLANT MATERIALS SHALL CONFORM IN SIZE AND GRADE TO AMERICAN STANDARDS FOR NURSERY STOCK. PLANT MATERIALS SHALL BE OF STANDARD QUALITY TRUE TO NAME AND TYPE, AND FIRST CLASS REPRESENTATIVES OF THEIR SPECIES OR VARIETY. PLANTS SHALL BE CAREFULLY LABELED AND SIZES NOTED. RIGHT IS RESERVED TO REJECT PLANTS CONSIDERED AS UNSATISFACTORY. REJECTED PLANTS SHALL BE REMOVED FROM SITE. PLANTS SHOULD NOT BE PRUNED PRIOR TO DELIVERY. HEADING-BACK PLANTS TO MEET SIZES INDICATED IN DRAWINGS SCHEDULE WILL NOT BE PERMITTED.
2. PLANTS & TREES
  - 2.A. CONTRACTOR SHALL STAKE THE LOCATION OF EACH TREE AND SHRUB IN ACCORDANCE WITH THE LOCATIONS SHOWN ON THE DRAWINGS. STAKING AND LAYOUT WORK SHALL BE DONE SUFFICIENTLY IN ADVANCE OF PLANTING OPERATION TO PERMIT THE LANDSCAPE ARCHITECT TO CHECK, REVISE IF DESIRED, AND APPROVE THE LOCATIONS BEFORE DIGGING OPERATIONS BEGIN.
  - 2.B. EXCAVATE PLANTING BEDS AND POCKETS TO A DEPTH REQUIRED FOR PLANTINGS.
  - 2.C. ANY ROCK OR OTHER UNDERGROUND OBSTRUCTION SHALL BE REMOVED TO DEPTH NECESSARY TO PERMIT PLANTING ACCORDING TO THESE SPECIFICATION.
  - 2.D. IN GENERAL, CONTRACTOR SHALL THOROUGHLY WATER ALL PLANTED AREAS AFTER PLANTING AND IN DRY WEATHER USE ENOUGH WATER TO THOROUGHLY SOAK ALL TREE PITS BEFORE PLANTING. CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS IN ADVANCE OF START OF THE WORK TO INSURE THAT AN ADEQUATE SUPPLY OF WATER AND WATERING EQUIPMENT ARE AVAILABLE WHEN REQUIRED.
3. MULCHING
  - 3.A. MULCH TOP OF ROOT BALL AND SAUCER WITHIN 48 HOURS TO A MIN. DEPTH OF 2" AND TO A DEPTH NOT TO EXCEED 3".
  - 3.B. ALL SHADE AND FLOWERING TREES SHALL BE MULCHED WITH THREE (3) INCHES THICK (SETTLED) AND COVERING AN AREA TWELVE (12) INCHES GREATER THAN THE DIAMETER OF PIT.
4. PLANT MAINTENANCE
  - 4.A. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE FOR 90 DAYS AFTER THE LAST PLANT HAS BEEN INSTALLED.
  - 4.B. ALL PLANTS SHALL BE KEPT IN A GROWING, HEALTHY CONDITION BY WATERING, PRUNING, SHEARING, SPRAYING, TIGHTENING OF GUYS (IF USED), STRAIGHTENING OF PLANTS WHICH LEAN OR SAG, LIFTING PLANTS WHICH DEVELOP MORE THAN NORMAL SETTLEMENT, WEEDING, AND BY ANY OTHER NECESSARY OPERATION OF MAINTENANCE. KEEP ALL PLANTING AREAS FREE OF WEEDS AND UNDESIRABLE GRASSES.
  - 4.C. DURING THE MAINTENANCE PERIOD, PLANTS IN AN UNHEALTHY OR BADLY IMPAIRED CONDITION, SHALL BE REMOVED AND REPLACED IMMEDIATELY USING SPECIFIED MATERIAL.
5. ACCEPTANCE AND GUARANTEE
  - 5.A. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR WITHOUT SATISFACTORY GROWTH, AS DETERMINED BY THE LANDSCAPE ARCHITECT, SHALL BE REMOVED AND REPLACED IN NEXT SPECIFIED PLANTING SEASON. ANY REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED AND REPLANTED IN SAME LOCATION FROM WHICH DEAD PLANT WAS REMOVED AND SHALL BE REPLACED AT NO ADDITIONAL COST.
  - 5.B. ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY FOR REPLACEMENT.
6. DURING THE BIDDING PROCESS, NO PLANTS MAY BE SUBSTITUTED FOR A DIFFERENT PLANT. THE PLAN MUST BE BID AS DRAWN.
7. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO COME BACK AFTER ONE YEAR OF ACCEPTANCE OF THE PLANTING TO REMOVE ANY STAKES OR GUY WIRES THAT MAY HAVE BEEN USED.
8. ANY DISCREPANCY BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE.
9. THE OWNER RESERVES THE RIGHT TO ALTER THE PLANTING PLAN ONLY AS SHOWN IN THE AREA OF THE FOUNDATION.

MULCH: ALL SHRUBS THAT ARE SHOWN IN GROUPINGS SHALL BE MULCHED IN A PLANT BED WITH SHREDDED HARDWOOD MULCH TO A MINIMUM OF 2" AND NOT GREATER THAN 3" IN DEPTH. IN AREAS OF STEEP SLOPES A FINE GRADE (NEARLY INVISIBLE) PLASTIC NETTING MAY BE USED TO STABILIZE THE MULCH BED.

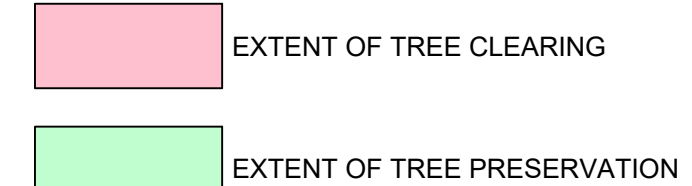
ANNUALS & PERENNIALS: ANY DESIRED ANNUALS AND PERENNIALS MAY BE DETERMINED BETWEEN THE PROPERTY OWNER AND THE LANDSCAPE CONTRACTOR FOR DESIRED COLOR PALETTE.

2" CAL. TREE: 4 (8")  
 3" CAL. TREE: 21 (63")  
 TOTAL: 71" NEW  
 PRESERVED: 14,832.61 SF OF FORESTED AREA  
 1.63 AC 117.11" REQUIRED

PLANT SCHEDULE							
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS	TOTAL CAL
<b>TREES</b>							
AR	11	ACER RUBRUM 'RED SUNSET'	RED MAPLE	3" CAL.	CONT. / B & B	WELL BRANCHED	33"
PY	4	PRUNUS X YEDOENSIS	YOSHINO CHERRY	2" CAL.	CONT. / B & B	WELL BRANCHED	8"
QP	10	QUERCUS PHELLOS	WILLOW OAK	3" CAL.	CONT. / B & B	WELL BRANCHED	30"
CALIPER CALCULATIONS							1.63 AC 117.11" REQUIRED
<b>SHRUBS</b>							
BS	28	BUXUS SEMPERVIRENS 'VARDAR VALLEY'	COMMON BOXWOOD	24" HT.	CONT. / B & B		
HQ	9	HYDRANGEA QUECIFOLIA 'SNOW QUEEN'	OAKLEAF HYDRANGEA	24" HT.	CONT. / B & B		
VP	13	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM	24" HT.	CONT. / B & B		
<b>GROUND COVERS</b>							
CA	13	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	COMMON WINTERBERRY	5 GAL. CONT.			

AREA OF SOD: 2,562.36 SQUARE YARDS  
 SOD TO BE A LOCALLY GROWN TYPE FESCUE. SOD TO BE PLACED WITHIN 24 HOURS OF HARVEST.

TOTAL PARKING SPACES: 43 SPACES  
 REQUIRED INTERIOR TREES: 2.87 TREES  
 PROVIDED INTERIOR TREES: 9 TREES



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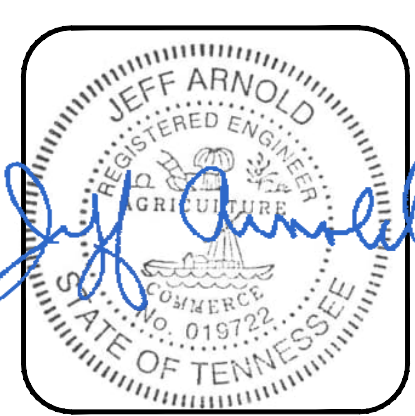
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REVISIONS

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JOB NUMBER: 25-3046-L
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SCALE: 1" = 30'
DRAWN BY: O. SLOAN
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APPROVED BY: B. SHIRLEY

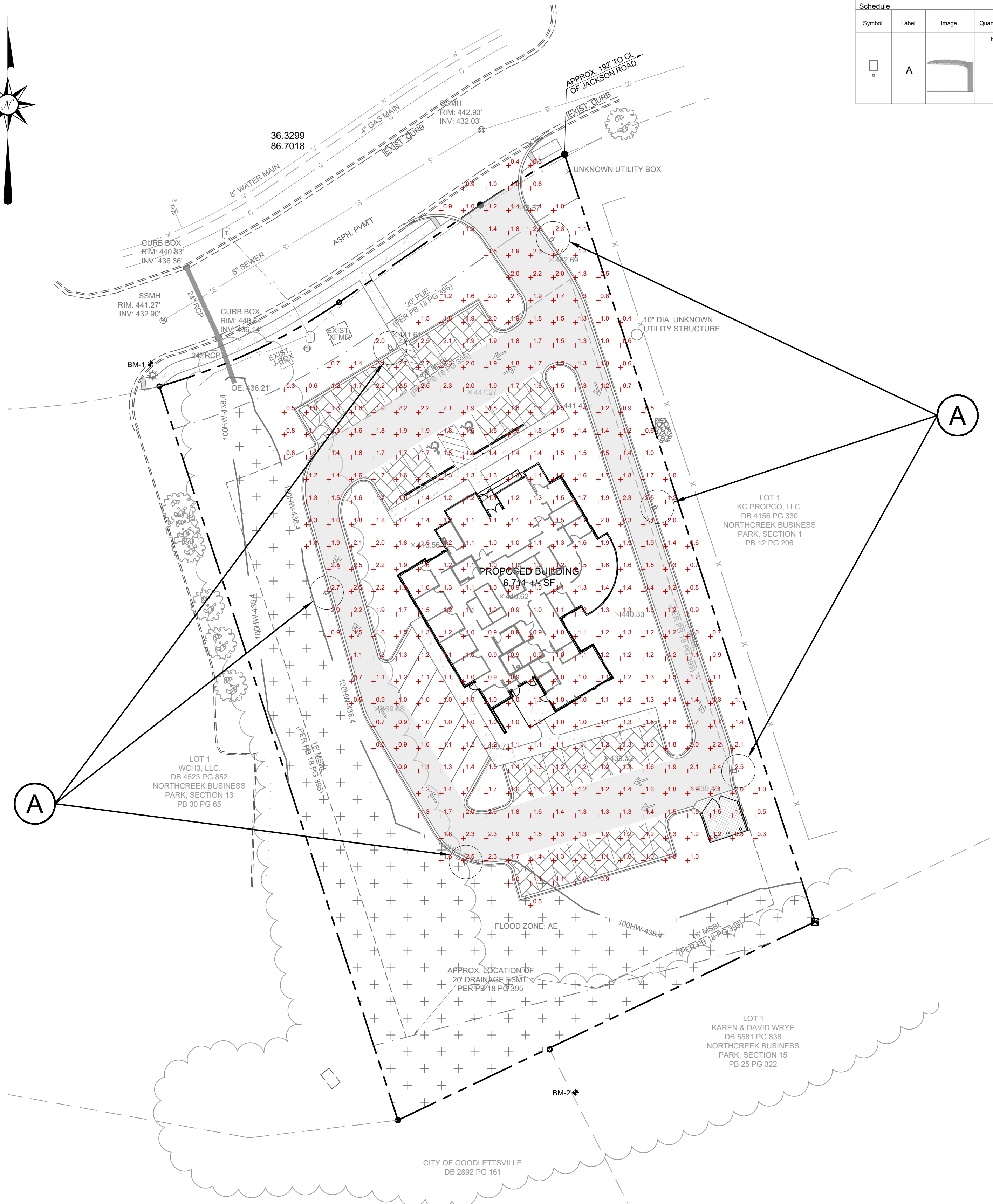
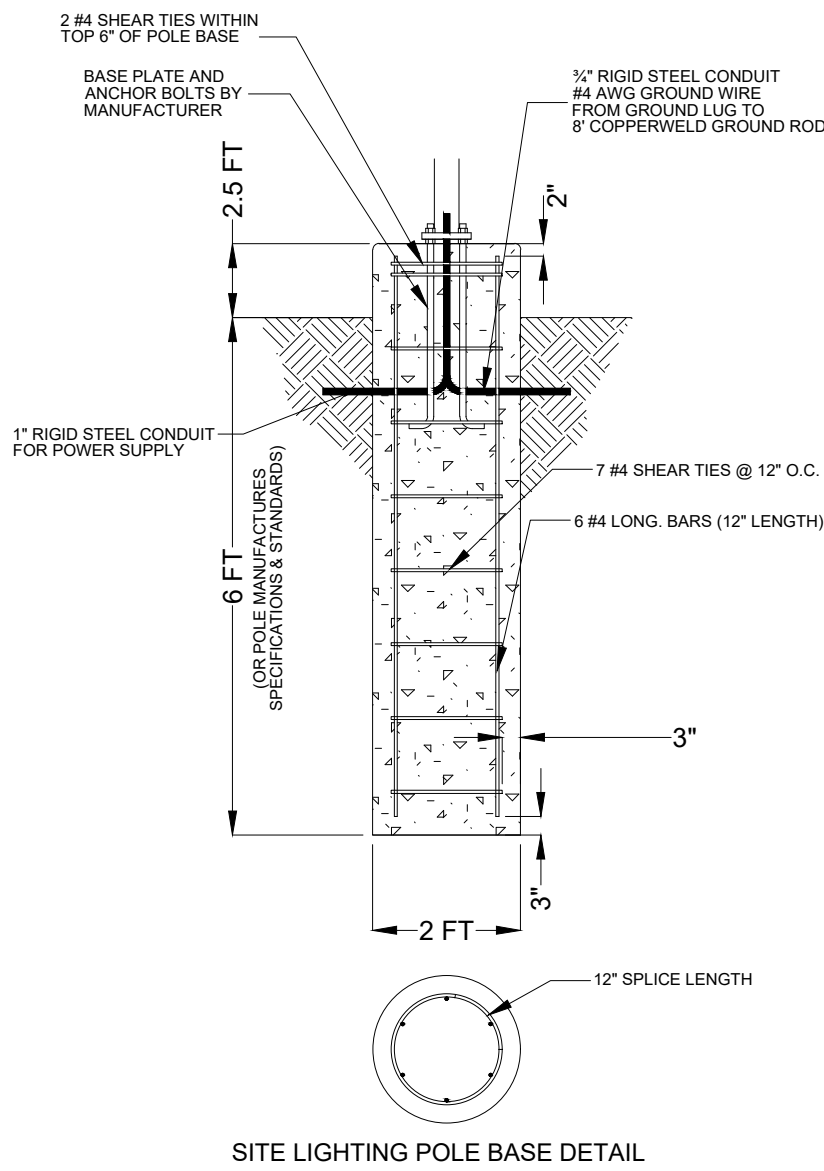
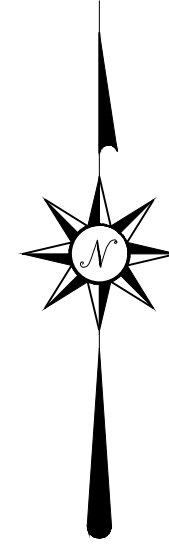


**L1**  
 LANDSCAPE  
 PLAN

**GENERAL NOTES**

1. READINGS SHOWN ARE IN UNITS OF MAINTAIN FOOTCANDLES.
2. US LED FIXTURES USED IN MODEL (SEE SCHEDULE ON THIS SHEET & MECHANICAL PLANS FOR FURTHER DETAILS).
3. FIXTURES SHALL MATCH AS NOTED OR EQUIVALENT PER OWNER.
4. ALL POLE FIXTURE HEIGHTS (B): 25'0"
5. ALL FIXTURES AND POLES TO HAVE BLACK PAINTED FINISH.
6. READINGS TAKEN AT GRADE
7. SEE MECHANICAL/ELECTRICAL PLANS FOR EXACT LOCATION OF BUILDING MOUNTED FIXTURES AND WALL PACKS
8. FIXTURE SPACING AS SHOWN
9. L.L.F. CALCULATED AT 0.75
10. THE CONTRACTOR SHALL VERIFY TOTAL LINEAR FEET OF CONDUIT AND WIRE GAUGE SIZE IS ADEQUATE.
11. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE WITH MECHANICAL ENGINEER TO ENSURE ELECTRICAL PANEL LOADING REQUIREMENTS ARE MET AND NOT EXCEEDED.
12. CONTRACTOR SHALL COORDINATE WITH MECHANICAL PLANS FOR CONNECTION TO ELECTRICAL SERVICE PANEL.
13. CONTRACTOR SHALL VERIFY THAT ALL ELECTRICAL CONNECTIONS MEET LOCAL BUILDING CODES AND LOADING REQUIREMENTS.
14. ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL, AND SITE LIGHTING PLANS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR REVIEW.

**\*NOTE: ALL LIGHTING SHALL BE POINTED DOWNWARD AND INWARD AS TO NOT ENCR OACH ONTO ADJACENT PROPERTIES OR RIGHT OF WAY**



Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
A			6	Lithonia Lighting	DSX2 LED P2 27K 80CRI T4M EGS	D-Series Size 2 Area Luminaire P2 Performance Package 2700K CCT 80 CRI Type 4 Medium External Glare Shield	1	17749	0.75	179.22	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SKY Pediatric Dentistry	+	1.4 fc	2.9 fc	0.2 fc	14.5:1	7.0:1

**Specifications**

- EPA: 1.06 ft<sup>2</sup> (0.10 m<sup>2</sup>)
- Length: 40.59" (1031 mm)
- Width: 16.76" (425 mm)
- Height H1: 8.11" (206 mm)
- Height H2: 9.96" (253 mm)
- Weight: 46.2 lbs (21 kg)

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of up to 80% vs. 100W/HID and expected service life of over 100,000 hours.

**Ordering Information** EXAMPLE: DSX2 LED P2 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LED	Color Temperature	Color Rendering	Beam Spread	Mounting	Shipped Included
DSX2 LED	Forward optics	40K	90CRI	48°	Standard front view	SPK 3000
	Reverse optics	40K	90CRI	48°	Standard back view	SPK 3000

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UTILITY NOTE: ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "811" FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES); WHEN CONTACTING THE "811" CALL CENTER, PLEASE STATE THE WORK TO BE DONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

- "NO LIGHTING SHALL BE PERMITTED WHICH WOULD GLARE ONTO ANY STREET, INTO ANY ADJACENT PROPERTY, OR BE DEEMED AS LIGHTING TRESPASS, E.G., THE SHINING OF LIGHT PRODUCED BY A FIXTURE BEYOND THE BOUNDARIES OF THE PROPERTY ON WHICH SUCH FIXTURE IS LOCATED."
- "NO FLASHING LIGHTS OR STROBE LIGHTS ARE PERMITTED, EITHER AFFIXED, NON-AFFIXED, OR INTERNAL WHICH WOULD BE SEEN FROM ANY ADJACENT PROPERTY, ROAD OR AERIAL LOCATION, EXCEPT IN SITUATIONS INVOLVING PUBLIC HEALTH OR SAFETY."

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURES REQUIRED BY UTILITY COMPANY



REVISIONS

NO.	DATE	DESCRIPTION
1	5-22-25	PER PLANNING COMMISSION COMMENTS

**SKY PEDIATRIC DENTISTRY**  
 3106 BUSINESS PARK CIRCLE  
 GOODLETTSVILLE, TN 37072

**ACES**  
 ARNOLD CONSULTING  
 ENGINEERING SERVICES, INC.  
 P.O. BOX 6338  
 BOWLING GREEN, KY 42101  
 PHONE (270) 786-9445

JOB NUMBER: 25-3046-L

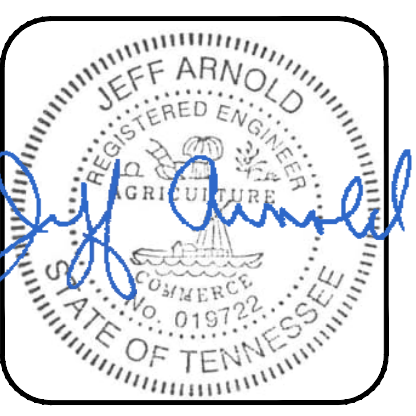
DATE: 5/22/2025

SCALE: 1" = 30'

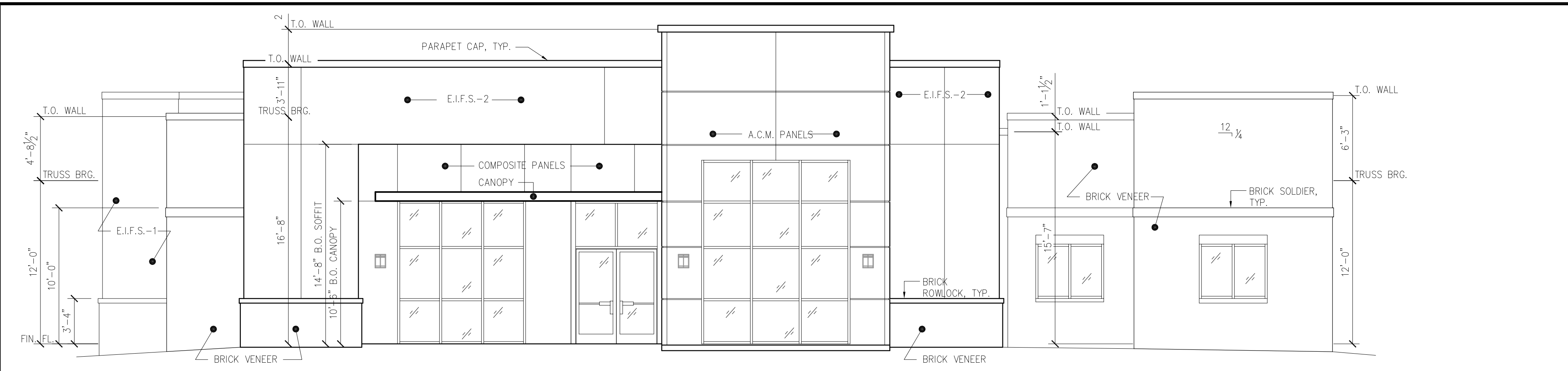
DRAWN BY: A. ARNOLD

CHECKED BY: A. ARNOLD

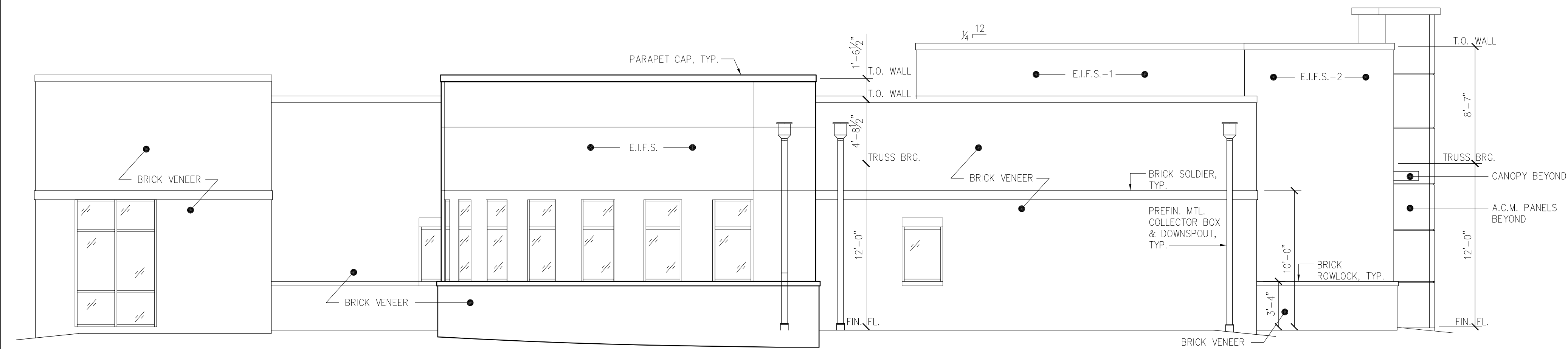
APPROVED BY: J. ARNOLD



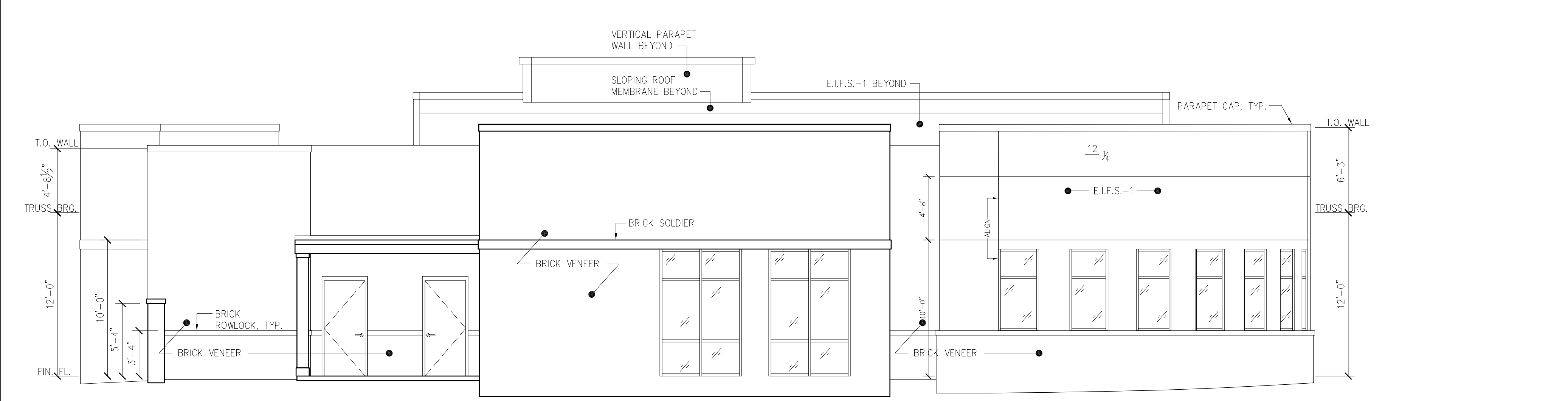
**SL1**  
 SITE LIGHTING PLAN



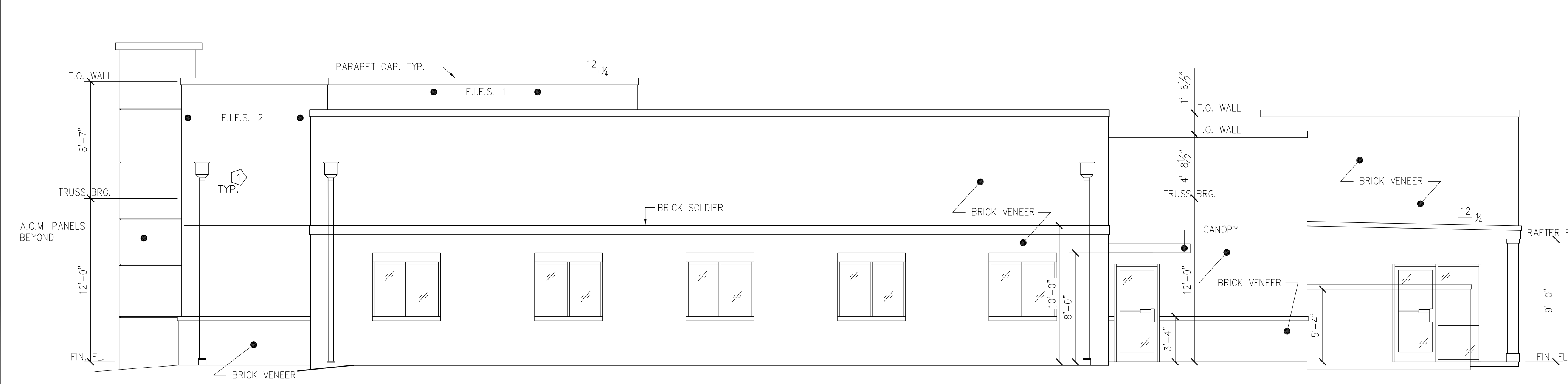
**1 FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 LEFT ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 REAR ELEVATION**  
SCALE: 3/16" = 1'-0"



**4 RIGHT ELEVATION**  
SCALE: 3/16" = 1'-0"

**OVERALL TOTALS**

MATERIAL	AREA	% OF TOTAL
BRICK VENEER	4095 S.F.	55.0%
E.I.F.S.	1586 S.F.	21.3%
ALUM. PANELS	411 S.F.	5.5%
DOORS & WINDOWS	872 S.F.	11.7%
QUARTZ PANELS	143 S.F.	1.9%
METAL TRIMS	333 S.F.	4.5%
<b>TOTAL</b>	<b>7440 S.F.</b>	<b>100.0%</b>

**FRONT ELEVATION**

MATERIAL	AREA	% OF TOTAL
BRICK VENEER	550 S.F.	30.1%
E.I.F.S.	481 S.F.	26.3%
ALUM. PANELS	236 S.F.	12.9%
DOORS & WINDOWS	356 S.F.	19.5%
QUARTZ PANELS	143 S.F.	7.8%
METAL TRIMS	82 S.F.	3.4%
<b>TOTAL</b>	<b>1828 S.F.</b>	<b>100.0%</b>

**LEFT ELEVATION**

MATERIAL	AREA	% OF TOTAL
BRICK VENEER	1101 S.F.	55.9%
E.I.F.S.	580 S.F.	29.4%
ALUM. PANELS	69 S.F.	3.5%
DOORS & WINDOWS	154 S.F.	7.8%
QUARTZ PANELS	0 S.F.	0.0%
METAL TRIMS	66 S.F.	3.4%
<b>TOTAL</b>	<b>1970 S.F.</b>	<b>100.0%</b>

**REAR ELEVATION**

MATERIAL	AREA	% OF TOTAL
BRICK VENEER	1004 S.F.	61.6%
E.I.F.S.	320 S.F.	19.6%
ALUM. PANELS	0 S.F.	0.0%
DOORS & WINDOWS	191 S.F.	11.7%
QUARTZ PANELS	0 S.F.	0.0%
METAL TRIMS	116 S.F.	7.1%
<b>TOTAL</b>	<b>1631 S.F.</b>	<b>100.0%</b>

**RIGHT ELEVATION**

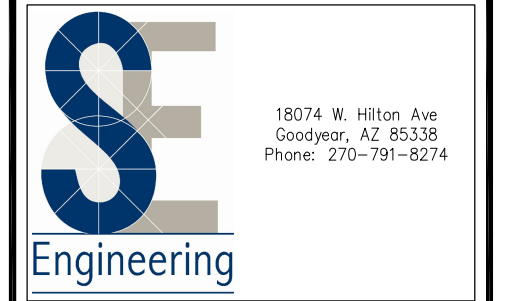
MATERIAL	AREA	% OF TOTAL
BRICK VENEER	1440 S.F.	71.8%
E.I.F.S.	205 S.F.	10.2%
ALUM. PANELS	106 S.F.	5.3%
DOORS & WINDOWS	171 S.F.	8.5%
QUARTZ PANELS	0 S.F.	0.0%
METAL TRIMS	89 S.F.	4.4%
<b>TOTAL</b>	<b>2011 S.F.</b>	<b>100.0%</b>

**MATERIALS LEGEND**

- BRICK VENEER**  
GENERAL SHALE: OLD CHICAGO, 2 1/2"x3 5/8"x7 3/4" #6060008600
- ALUMINUM COMPOSITE PANELS**  
ALPOLIC: FR/CHAMPAGNE MICA, 4MM
- ALUMINUM STOREFRONT DOORS & WINDOWS**  
DARK BRONZE
- QUARTZ COMPOSITE PANELS**  
COSENTINO DEKTON: TRILLIUM, THICKNESS & PANEL SIZE TBD
- E.I.F.S.-1**  
DRYVIT: SANDEBBLE FINE TEXTURE
- E.I.F.S.-2**  
DRYVIT: SANDEBBLE FINE TEXTURE
- CANOPY**  
MATES: CANTILEVER CANOPY, SUPER LUMIDECK, FLAT SOFFIT, 8" J FASCIA
- METAL TRIMS**  
PAC-CLAD DARK BRONZE

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NO.	DESCRIPTION	DATE	DESIGNATION
0	ISS. DRAWING BY CHECKED BY DATE EAS	08-21-24	EAS



STAMP:

CONSULTANT:

STAMP:



PROJECT NUMBER: 24-1053  
FILENAME:  
SCALE:  
AS NOTED  
PLOT DATE:  
DRAWN BY: EAS

DRAWINGS FOR: **Goodlettsville Dental**  
Business Park Circle  
Goodlettsville, TN

SHEET TITLE: **Exterior Material Area Calculations**

SHEET: **A-5.0**





# State of Tennessee

## PUBLIC CHAPTER NO. 140

### HOUSE BILL NO. 375

By Representatives Zachary, Crawford, Littleton, Powers, Butler, Gant, Burkhart, Tim Hicks, White, Stinnett, Renea Jones, Hardaway

Substituted for: Senate Bill No. 988

By Senator Haile

AN ACT to amend Tennessee Code Annotated, Title 5; Title 6; Title 7; Title 10 and Title 67, Chapter 4, Part 29, relative to fees assessed by a local government.

BE IT ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF TENNESSEE:

SECTION 1. Tennessee Code Annotated, Title 5, Chapter 1, Part 1, is amended by adding the following as a new section:

(a)

(1) Except as provided in subsection (d), each department, agency, or official of a county who assesses and collects a fee related to development in excess of two hundred fifty dollars (\$250) shall maintain documentation describing the justification and cost basis for such fee. Such documentation is also required upon the adoption of a new fee or for a change in the amount of an existing fee that is related to development and in excess of two hundred fifty dollars (\$250).

(2) Subdivision (a)(1) only requires such documentation to be produced one (1) time for each existing fee, new fee, or change in the amount of an existing fee. Production of such documentation is not required each time the fee is assessed against a person or entity responsible for paying the fee.

(b) The documentation under subsection (a):

(1) Must be maintained and kept on file by the department, agency, or official;

(2) Is a public record and available for public inspection upon request pursuant to title 10, chapter 7, part 5; and

(3) Is subject to an annual audit by the comptroller of the treasury. The comptroller may incorporate the annual audit into any other financial audit of the county performed by the comptroller of the treasury.

(c) As used in this section:

(1) "Cost basis" means the rationale for charging a fee, particularly in regard to how a fee reasonably relates to cost incurred by the government; and

(2) "Development" means the construction, building, erection, or improvement to land or any infrastructure contributing to the ability to provide a new building or structure.

(d) For a connection cost of a utility, as such terms are defined in § 65-5-401, of a county, the utility shall maintain and provide documentation according to title 65, chapter 5, part 4.

SECTION 2. Tennessee Code Annotated, Title 6, Chapter 54, Part 1, is amended by adding the following as a new section:

(a)

(1) Except as provided in subsection (d), each department, agency, or official of a municipal government who assesses and collects a fee related to development in excess of two hundred fifty dollars (\$250) shall maintain documentation describing the justification and cost basis for such fee. Such documentation is also required upon the adoption of a new fee or for a change in the amount of an existing fee that is related to development and in excess of two hundred fifty dollars (\$250).

(2) Subdivision (a)(1) only requires such documentation to be produced one (1) time for each existing fee, new fee, or change in the amount of an existing fee. Production of such documentation is not required each time the fee is assessed against a person or entity responsible for paying the fee.

(b) The documentation under subsection (a):

(1) Must be maintained and kept on file by the department, agency, or official;

(2) Is a public record and available for public inspection upon request pursuant to title 10, chapter 7, part 5; and

(3) Is subject to an annual audit by the comptroller of the treasury. The comptroller may incorporate the annual audit into any other financial audit of the municipality performed by the comptroller of the treasury.

(c) As used in this section:

(1) "Cost basis" means the rationale for charging a fee, particularly in regard to how a fee reasonably relates to cost incurred by the government; and

(2) "Development" means the construction, building, erection, or improvement to land or any infrastructure contributing to the ability to provide a new building or structure.

(d) For a connection cost of a utility, as such terms are defined in § 65-5-401, of a municipality, the utility shall maintain and provide documentation according to title 65, chapter 5, part 4.

SECTION 3. Tennessee Code Annotated, Title 7, Chapter 1, is amended by adding the following as a new section:

(a)

(1) Except as provided in subsection (d), each department, agency, or official of a metropolitan government who assesses and collects a fee related to development in excess of two hundred fifty dollars (\$250) shall maintain documentation describing the justification and cost basis for such fee. Such documentation is also required upon the adoption of a new fee or for a change in the amount of an existing fee that is related to development and in excess of two hundred fifty dollars (\$250).

(2) Subdivision (a)(1) only requires such documentation to be produced one (1) time for each existing fee, new fee, or change in the amount of an existing fee. Production of such documentation is not required each time the fee is assessed against a person or entity responsible for paying the fee.

(b) The documentation under subsection (a):

(1) Must be maintained and kept on file by the department, agency, or official;

(2) Is a public record and available for public inspection upon request pursuant to title 10, chapter 7, part 5; and

**HB375**

(3) Is subject to an annual audit by the comptroller of the treasury. The comptroller may incorporate the annual audit into any other financial audit of the metropolitan government performed by the comptroller of the treasury.

(c) As used in this section:

(1) "Cost basis" means the rationale for charging a fee, particularly in regard to how a fee reasonably relates to cost to the government; and

(2) "Development" means the construction, building, erection, or improvement to land or any infrastructure contributing to the ability to provide a new building or structure.

(d) For a connection cost of a utility, as such terms are defined in § 65-5-401, of a metropolitan government, the utility shall maintain and provide documentation according to title 65, chapter 5, part 4.

SECTION 4. This act takes effect July 1, 2026, the public welfare requiring it.

HOUSE BILL NO. 375

PASSED: March 20, 2025



CAMERON SEXTON, SPEAKER  
HOUSE OF REPRESENTATIVES



RANDY MCNALLY  
SPEAKER OF THE SENATE

APPROVED this 3<sup>rd</sup> day of April 2025



BILL LEE, GOVERNOR