

**CITY OF GOODLETTSVILLE
MUNICIPAL PLANNING COMMISSION
MEETING AGENDA**

MONDAY NOVEMBER 3, 2025 5:00 PM

- ITEM#1 Approval of November 3, 2025 Agenda
- ITEM#2 Approval of October 6, 2025 Meeting Minutes
- ITEM#3 Public Forum on Planned Related Topics
- ITEM#4 301 Moss Trail, Property Owner: Requests approval to alter the property lines of the two (2) properties including 2.18 acres at 301 Moss Trail at the intersection of Moss Trail and Pleasant Green Road. If the request is approved, the subdivision plat amendment will be administered under a staff review process. The two (2) properties are referenced as Davidson County Tax Map/Parcel 02516005000 and are zoned R-25, Low Density Residential. Property Owner: Mark B Zygutis Sr.
- ITEM#5 Goodlettsville 56/ CLQ Land: Requests residential exterior architectural plan approval for 103 residential lots on 58.66 acres on Moncrief Avenue, McCoin Drive, and Barber Drive. The properties are referenced as Davidson County Tax Map/Parcels#025013500, 02505500, and 025005600 and are zoned MDRPUD, Medium Density Residential Planned Unit Development. Property Owners: Dania McVicker & Last of the Loggers LLC (8-24)
- ITEM#6 Community Development Staff: Requests recommendation to the Goodlettsville City Commission to amend the Zoning Ordinance Section 14-206 (7) (b) to define an additional permitted commercial use (car wash) within the Interchange Overlay District specific to the I-65 Exit 98 Louisville Highway overlay area.
- ITEM#7 Community Development Staff: Requests recommendation to the Goodlettsville City Commission to amend the Zoning Ordinance Section 14-208 (1)(p) Requirements of Home Occupations to define provisions for limited on-site client/patron service.

DISCUSSION ITEMS:

- Long Hollow Pike/Willis Branch Road- Horse Stables/Events- Conceptual Proposal
- Comprehensive Plan Amendment Process- December 1st Planning Commission adoption

GOODLETTSVILLE CITY HALL MASSIE CHAMBERS

A government committed to operating with efficiency and integrity in all we do as we strive to enhance the quality of life for the community we serve.

105 S. Main Street – Goodlettsville, TN 37072 – 615-851-2202

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MONDAY NOVEMBER 3, 2025 5:00 PM**

AGENDA STAFF REPORT

ITEM#1 Approval of November 3, 2025 Agenda

1. Approve as listed
2. Approve with agenda amendments as determined by the Planning Commission

ITEM#2 Approval of October 6, 2025 Meeting Minutes

1. Approve as listed
2. Approve with minute amendments as determined by the Planning Commission

ITEM#3 Public Forum on Planned Related Topics

STAFF NOTES: N/A

MOTION OPTIONS: N/A

ITEM#4 301 Moss Trail, Property Owner: Requests approval to alter the property lines of the two (2) properties including 2.18 acres at 301 Moss Trail at the intersection of Moss Trail and Pleasant Green Road. If the request is approved, the subdivision plat amendment will be administered under a staff review process. The two (2) properties are referenced as Davidson County Tax Map/Parcel 02516005000 and are zoned R-25, Low Density Residential. Property Owner: Mark B Zygutis Sr.

Applicant's Request:

Please review the attached drawing for Lot 68 of Goodlettsville Heights Subdivision Section Number Two to be adjusted to approximately .90 acres. The lot size should conform to the median size lot acreage in the Subdivision. This adjustment is needed to relocate the south property line that runs through the existing home.

Indicated on the site plan the layout of the lot adjustment and proposed new home setbacks show the approximate dimensions. The northeast corner to southeast corner line is reduced from 350 feet to 260 feet toward Moss Trail Road. The southwest corner would move 90 feet north along the property line along Pleasant Green Ave. This line from the southwest corner runs to the intersection radius curve. The existing corner monuments have been located for Lot 68. A registered surveyor will provide the lot subdivision drawings and update the corner monuments.

I have attached the home layout plan for a single story 4 bedroom, 3 bathroom, and 3 car garage home. The entrance driveway will be on Moss Trail. Let me know if any further information or

details can be provided for the approval of the lot subdivision. Hopefully I can get approval and plan construction this year.

STAFF NOTES:

The current 2.18-acre property includes two lots/tracts including lot sixty-eight (68) of the Goodlettsville Heights Section Two (2) subdivision plat. The Goodlettsville Heights subdivision property at the corner of Moss Trail is 1.27 acres and the adjacent Pleasant Green Road 0.92-acre property that was created by deed is not included on a subdivision plat. The house on the current 2.18-acre property was constructed in 1956 per Davidson County on-line tax assessment data. The deed referencing the two (2) combined lots as a single property was recorded in March 1968. The existing house is constructed over the property line between the two (2) lots/tracts. The proposal is to re-subdivide the two (2) lots and create a revised lot at the corner of Moss Trail and Pleasant Green Road at roughly 39,200 sq. ft. (including offset due to intersection radius) or 0.90 acres to construct a new one family detached dwelling unit. The proposal would include the remaining 1.27 acres of property on a separate lot with the existing house. Since the property contains two (2) lots/tracts the proposal is not creating a new lot but altering the two (2) existing lots/tracts.

Per the City’s Subdivision Regulations, the proposed subdivision creating a 0.90-acre lot would meet the average lot size requirement of 38,768 square feet/ 0.89 acres (based on existing property dimension calculations due to multiple prior lot changes) of the Goodlettsville Heights Section Two (2) subdivision. The existing house would be roughly forty (40’) feet from the proposed revised property line. The minimum side building setback per the R25, Low Density Residential zoning district is fifteen (15’) feet and the minimum lot size is 25,000 square feet /0.57 acres. The request is to re-subdivide the two (2) existing lots/tracts and create a 0.90-acre and a 1.27-acre lot. The minimum new building(home) square footage required in the R25 zoning is 1,325 square feet with an attached two (2) car garage. The applicant’s proposal would meet the requirement of the R25 zoning district for both of the proposed lots.

Staff Stipulation: If the request is approved, a two (2) lot subdivision plat amendment will be required to be reviewed and approved by city staff

MOTION OPTIONS:

1. Approve the proposed lot/tract alterations with the staff stipulation per determination by the Planning Commission that the proposed alteration meets the City’s Subdivision Regulations and Zoning Ordinance Sections
2. Deny the proposed lot/tract alterations per determination by the Planning Commission that the proposed alteration does not meet the City’s Subdivision Regulations and Zoning Ordinance Sections
3. Defer request to include additional information as determined by the Planning Commission

Staff recommendation to be provided at the meeting

Referenced Subdivision Regulations Section:

1-108.2 Limitation on Resubdivision

Within any existing subdivision which has been approved, recorded and at least partially developed, no resubdivision or replatting shall be permitted which reduces the average lot size in such recorded subdivision

Referenced Zoning Ordinance Section 14-208 (1)(iv)

Subdivision of zone lot after development. In all districts, after any portion of a zone lot has been developed under the provisions of this section, such zone lot may be subdivided into smaller zone lots only if each resulting zone lot and building or buildings thereon comply with all of the appropriate regulations pertaining to bulk, yards, open space, and parking and loading requirements of the district in which they are located.

ITEM#5 **Goodlettsville 56/ CLQ Land:** Requests residential exterior architectural plan approval for 103 residential lots on 58.66 acres on Moncrief Avenue, McCoin Drive, and Barber Drive. The properties are referenced as Davidson County Tax Map/Parcels#025013500, 02505500, and 025005600 and are zoned MDRPUD, Medium Density Residential Planned Unit Development. Property Owners: Dania McVicker & Last of the Loggers LLC (8-24)

STAFF NOTES:

The Planning Commission at the November 4, 2024 meeting approved the project final master plan/construction plans with the stipulation that the applicant submit exterior building designs plans for review and approval by the Planning Commission prior to building permit issuance. The final master plan included a typical lot layout design including a recessed front garage design. The building designs will be required to include a minimum fifty (50%) percent brick and or stone on all walls including a brick and/or stone-covered building foundation and a minimum twenty-two (22') feet garage dimension. The additional exterior building materials per the Zoning Ordinance are permitted to include wood or cement fiber board siding, glass, split face block, or a stucco like EIFS (exterior insulation finishing system) material. Vinyl or metal siding is only permitted in soffits and limited accent locations. Staff has requested plans for the side and rear building elevations and the proposed exterior building material percentages. The project approval is per the current regulations which are the same Planned Unit Development design regulations that were in place at the time of the project preliminary and final master plan approvals.

Staff Stipulation:

Building designs to meet the City’s Planned Unit Development minimum exterior building material design regulations, recessed front garage design per the November 2024 final master plan approval, and the minimum garage dimensions of twenty-two (22’) feet.

MOTION OPTIONS:

1. Approve the proposed building exterior design plan with staff stipulation per determination by the Planning Commission that the proposed plans meet the City’s Planned Unit Development design requirements
2. Deny the proposed building exterior designs since per determination by the Planning Commission that the proposed designs do not meet the City’s Planned Unit Development design requirements. *Any denial motion to include the defined building design revisions required for an additional Planning Commission review*
3. Defer the request including requests for revised designs as determined by the Planning Commission per the City’s Planned Unit Development design requirements

Staff recommendation to be provided at the meeting

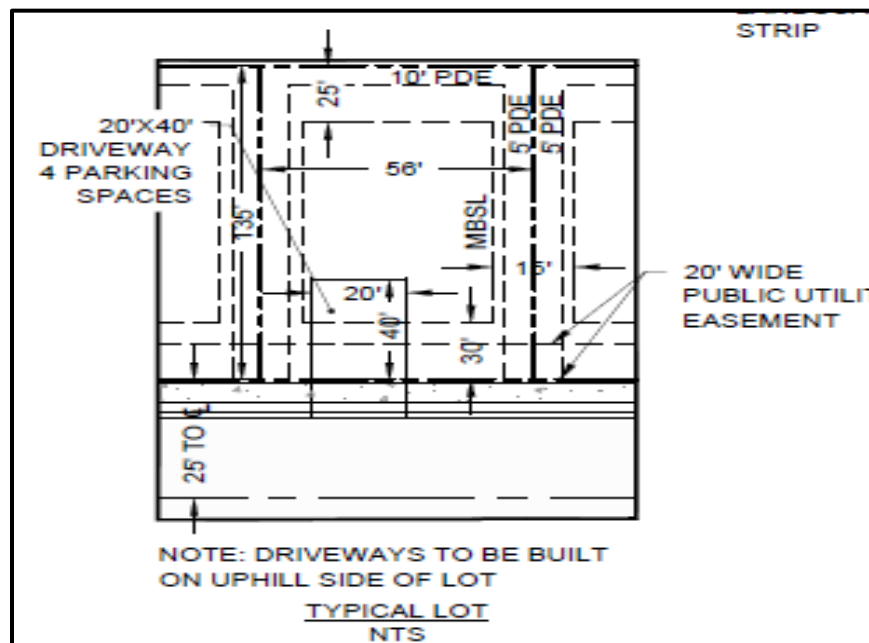
Referenced Zoning Ordinance Section 14-210 (5) (xi)

Residential design requirements. The intent of this subsection is to guide the development of residential neighborhoods that are compatible throughout the development and that complement existing development and the natural environment. Architectural elevations are required with each development with an architectural theme for all buildings including a variety in building roof pitches and building wall and roof designs and materials, building colors, building accent designs and designs preventing blank walls fronting streets. Plans shall include the garages or covered parking frontage locations and orientation with off-street parking. Plans shall include building designs connected to the project streetscape design. Garage or covered parking design for residential planned unit developments shall include a design or variety of designs that prevent more than 33 percent of the total unit number of front-loaded garages doors or open parking openings that are level with or in front of the front line of the residential structure. Front-loaded garages or covered open parking include garages and covered parking with the garage door or covered parking opening exceeding 25 percent of the front building elevation total width dimension. Except for parking structures for development shared parking, attached parking in garages are in addition to the required parking space requirement for each residential unit. The project master plans to include the following garage or covered parking designs, or other alternative designs may be reviewed with the master plan process.(A)Side loaded garages or covered parking.(B)Alley loaded or secondary roadway loaded garages or covered parking with the sidewalk connecting each unit to be located at the front of the residential structure fronting the primary street.(C)***Recessed***

front loaded garages or covered parking 10 feet or more behind the front line of the house. (D) Courtyard side loaded garages at the front of the structure. (E) Front loaded garages with the garage door(s) less than 25 percent of the front building elevation width dimension.

All buildings within a residential planned unit development shall meet the provisions of the city's design guidelines and the following. *All façades and exterior building walls shall include a minimum 50 percent masonry brick and/or stone. The remaining 50 percent on one and two family attached and attached dwellings may be split face block, cement fiber board, wood siding, EIFS, and glass. A limited percentage of metal and vinyl siding may be permitted for accents and decorative features. All exposed portions of building foundations shall be masonry brick or stone.* The planning commission may review other proposed materials as a variance with the preliminary and final master plan review process variance.

November 2024 Final Master Plan Approval Typical Lot Layout Design



ITEM#6 Community Development Staff: Requests recommendation to the Goodlettsville City Commission to amend the Zoning Ordinance Section 14-206 (7) (b) to define an additional permitted commercial use (car wash) within the Interchange Overlay District specific to the I-65 Exit 98 Louisville Highway overlay area.

STAFF NOTES:

Staff received a request for a carwash site development for the Quik Trip station out lot on Louisville Highway (31W). The property is within the specific Exit 98 interchange overlay area.

The City in January 2025 amended the INT, Interchange Overlay– Exit 98 Louisville Highway/31W specific overlay. A Zoning Ordinance amendment would be required to permit the use. The Planning Commission at the December 2024 meeting recommended approval of a ordinance amendment proposal for the additional uses in the Exit 98 interchange section including limited auto service uses but the City Commission decided not to include the auto service uses with the amendment adoption. This amendment is proposed to only include car washes and not any auto service uses.

Zoning Ordinance Amendment Bold Italics

Amendment#1

Sec. 14-206. - Commercial District Regulations (7)(b)

(7)Interchange Overlay District.

This district is intended to provide for uses which are compatible only with highway travel and the accommodation of all-night and rest-stop services.

(a)Application. The use provisions of the interchange overlay district shall be applied to those parcels and lots within the commercial base zoning and PUD districts as indicated as being within the INT on the official zoning map and shall control the use of property within the interchange overlay district.

(b)Use provisions. Within the interchange overlay district, only the following uses shall be permitted:

- (i)Fuel and service stations.
- (ii)Hotels and motels.
- (iii)Restaurants and drive-in restaurants.
- (iv)Wireless communications facilities.

Within the Exit 98 Louisville Highway Interchange Overlay Area the above listed uses (i)- (iv) are permitted in addition to the following additional uses:

1. Convenience Commercial
2. Personal Services
3. Financial, Consultative and Administrative Services
4. General Retail Trade
5. ***Car Washes***

MOTION OPTIONS:

1. Recommend approval to the City Commission for an amendment of the Zoning Ordinance to permit the additional use in the INT Interchange Overlay for the Exit 98 - Louisville Hwy Section as presented by staff or with amendments as determined by the Planning Commission
2. Recommend denial to the City Commission for an amendment to the Zoning Ordinance section as presented by staff
3. Defer request to include additional information as determined by the Planning Commission

Staff recommendation to be provided at the meeting

Sample Project Design



ITEM#7 **Community Development Staff:** Requests recommendation to the Goodlettsville City Commission to amend the Zoning Ordinance Section 14-208 (1)(p) Requirements of Home Occupations to define provisions for limited on-site client/patron service.

STAFF NOTES:

Staff received a request for a home occupation with limited on-site customer service of three (3) customers a day for a spa/salon type use. The proposal would require an amendment to the Zoning Ordinance home occupation section. If approved, the amendment would permit limited customer on-site service associated with a home occupation business including spas/salon, offices, etc.

Zoning Ordinance Section 14-208 (1)(p)

Requirements for home occupations. Any home occupation shall meet the following requirements:

- (i) No person other than members of the family residing on the premises shall be engaged in such occupation;
- (ii) The use of the dwelling unit for the home occupation shall be clearly incidental and subordinate to its use for residential purposes by the occupants, and not more than 25 percent of the floor area of the dwelling unit shall be used in the conduct of the home occupation;
- (iii) There shall be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation other than one sign, not to exceed one square foot in area, non-illuminated, and mounted flat against the wall of the principal building;
- (iv) No home occupation shall be conducted in any accessory building;
- (v) There shall be no sales on the premises in connection with such home occupation;
- (vi) No traffic shall be generated by such home occupation in greater volumes than would normally be expected in a residential neighborhood, and any need for parking generated by the conduct of such home occupation shall be met off the street and other than in a required front yard;
- (vii) No equipment or process shall be used in such home occupation which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses off the lot;
- (viii) The home occupation shall not involve the storage of commercial vehicles nor the use of such vehicles for delivery of goods or materials to and from the premises;
- (ix) No home occupation shall require internal or external alterations, construction features, or the use of any equipment that would change the fire rating of the structure;
- (x) No outdoor display of goods or outside storage of equipment, parts, or materials of any kind used in the home occupation shall be permitted; and
- (xi) The following are specifically prohibited as home occupations:
 - (A) The repair of motor vehicles.
 - (B) ~~A barber or beauty shop or any similar activity where clientele or patrons are served on the premises.~~ ***Any activity with four (4) or more clientele or patrons served on the premises per day and any activity with more than one clientele or patron served at the same time.***

MOTION OPTIONS:

- 1. Recommend approval to the City Commission to amend the Zoning Ordinance section as defined by staff or with revised amendments as determined by the Planning Commission.
- 2. Recommend denial to the City Commission to maintain the current Zoning Ordinance regulations
- 3. Defer the request to include any additional information as determined by Planning Commission

Staff recommendation to be provided at the meeting

DISCUSSION ITEMS:

-Long Hollow Pike/Willis Branch Road- Horse Stables/Events- Conceptual Proposal

-Staff received a request for the 27.4-acre properties at the corner of Long Hollow Pike and Willis Branch Road. The properties are zoned R-40, Low Density Residential. The request is to use the property (in addition to existing homes) for a commercial horse stable and special events. The request would require a Zoning Ordinance amendment to permit the requested uses in a residential zoning district.



-Comprehensive Plan Amendment Process- December 1st Planning Commission adoption

OFFICIAL MINUTES OF THE MEETING
GOODLETTSVILLE PLANNING COMMISSION

October 6, 2025

Goodlettsville City Hall

5:00 p.m.

Massie Chambers-Auditorium

Present: Chairman Scott Trew, Billy Barnfield, Commissioner Cisco Gilmore, Grady McNeal, Jeff Parnell, Mayor Rusty Tinnin, and Judy Wheeler.

Absent: N/A

Also Present: Addam McCormick (Staff), Tim Ellis-City Manager, Russell Freeman-City Attorney, Jenni Lester (Staff), Sean Pfalzer (Staff), Sharon Reed (Staff), and Alex West (Staff).

Trew called the meeting to order and offered prayer.

Item #1 Approval of Agenda and Item #3 Public Forum: Trew proposed to the board he would like to introduce separately each agenda item and open and close the Public Forum comments with each agenda item.

Mayor Tinnin made a motion to approve the agenda and public forum platform, Barnfield seconded the motion. The motion passed unanimously.

Item #2 Approval of September 8, 2025 Meeting Minutes: Barnfield made a motion to approve the minutes of the September 8, 2025 meeting, Parnell seconded the motion. The motion passed unanimously.

AGENDA

Trew opened the Public Forum for Item #4.

No one requested to speak.

Item #4 Dry Creek Commons Phase Two (2) Performance Bond Extension. Property Owner: Vastland Eatherley McClung Development, LLC.

Item Representative: Addam McCormick, Staff

Staff Discussion:

- The developer requests to reduce the current bond \$170,500 amount for the 2025-2026 time period due to the remaining cost improvements estimate of \$ 90,000.
- Project Status: Townhouse construction twenty-three (23) of thirty-nine (39) units completed- fifty-nine (59%) percent project construction.
- Master Deed Recording Date: February 22, 2022
- Current Project Bond: \$ 170, 500 - performance bond - October 11, 2025 expiration.
- Remaining Project Improvements: Final asphalt paving/stripping, Landscaping, and Sidewalk sections with remaining unit construction.

- Improvement Cost Estimate: \$ 90,000 estimate.
- Motion Option-Approval for one-year bond extension at current amount of \$ 170,500.
- Motion Option-Approval for one-year bond reduction/extension at \$ 125,000. (Staff Recommendation)
- Motion Option-Approval for one-year bond extension at amount determined by Planning Commission based on information provided during meeting.

Planning Commission Discussion: N/A

Motion: Motion by Mayor Tinnin to approve for one-year bond reduction/extension at \$ 125,000, seconded by Parnell. The motion passed unanimously.

Trew opened the Public Forum for Item #5.

Glen Garrett – 107 Roanoke Dr.

Garrett commented on the redesign and addition of a dormer to the one-story units and thinks aesthetically it looks better. Garrett asked the board to stick with the numbers that have already been approved for the one (1) and two (2) story homes.

Dawn Milanovich – 103 Roanoke Dr.

Milanovich has concerns for parking space if additional bedrooms are added to the units. Milanovich discussed concerns for encroachment of the easement causing her property to have a swamp along her property line and commented on a landscape plan to rectify the encroachment of the easement.

Item #5 Pine Ridge /Hidden Valley Homes: Requests recommendation to the City Commission to amend the one and two (2) story townhouse unit ratio master plan requirement. Project includes 117 townhouse units and commercial outparcel frontage on 20.32 acres on South Dickerson Road/SR 11. Properties are referenced as Davidson County Tax Map 025 Parcels 060, 062, 0218, and 0219 and are zoned HDPUD, High Density Residential Planned Unit and CPUD, Commercial Planned Unit Development. Property Owner: ALSL, GP. (8-23) (Deferred at September 8th, 2025 Meeting)

Item Representative: George Grundler, Hidden Valley Homes

Staff Discussion:

- The request was deferred at the September 8, 2025 meeting.
- The project preliminary master plan approved by the Planning Commission at the April 27, 2020 and November 1, 2021 meetings included requirements for a mixture on one (1) and two (2) level townhouse units with the intention for the housing to be possible for older residents.
- The City Commission at the December 9, 2021 meeting approved the project rezoning and preliminary master plan ordinance including a maximum sixty (60%) percent two (2) story units and forty (40%) percent one (1) story units.
- The current project final master plan includes 117 units with forty-seven (47) one (1) story units and seventy (70) two (2) story units.
- The applicant's request is to permit options for the units to be either one (1) or two (2) story units.
- The Planning Commission review is based on the level of proposed buildings alterations proposed and if the proposal would negatively impact the original project and building design approval.
- Motion Option-Recommend to the City Commission to approve the request to permit all units to be either one (1) or two (2) story units per the applicant's request. (Staff Recommendation-due to limited change to existing architectural building designs)

- Motion Option-Recommend to the City Commission to deny the request and maintain the requirement for limitations on the number of one (1) and two (2) story units.
- Motion Option-Defer request to include additional information as determined by the Planning Commission.

Planning Commission Discussion:

- Grundler discussed the site side elevation, exterior architecture, and increasing the square footage of the homes by adding a second level.
- Grundler discussed the revised plans have no impact on the overall height of the homes.
- Grundler stated the additional impact they had from an architectural standpoint is increase the architectural aesthetic of the windows and full brick elevation.
- Grundler stated they are far below the total allowable parking computation.
- Grundler discussed the opportunity to remove or mitigate the forty (40%) one (1) level units to have the ability to build a better, more marketable and more usable home.
- Commissioner Gilmore questioned Grundler on the original plans what materials did it show on the sides of the unit's brick or siding?
- Grundler responded below the top plate was shown with brick above that area is siding and now they want to take the brick all the way up to the peak of the gable.
- Commissioner Gilmore questioned Grundler if this is not approved would you be willing to keep the sides with brick or would you keep it siding?
- Grundler responded they want to be able to deliver a home with more square footage and did not know the answer to this question until they have received an answer to the request before them.
- Commissioner Gilmore clarified the reason for the request is to add square footage.
- Grundler responded it is to have the flexibility to add square footage because the market for the one (1) level home is less desirable.
- Trew commented he appreciated them addressing the concerns for landscaping in the back and the encroachment issue.
- Parnell being involved in the acquisition and sale of the land discussed the history and original intent of the property when it was sold and not opposed to twenty-five (25%), and commented if adding more bedrooms they will need more parking.
- Parnell commented the City needs the project and needs some one (1) story units.
- Wheeler commented the aesthetics of the revision are much improved from the front, back and sides.

Motion: Motion by Wheeler to recommend to the City Commission to approve the request to permit all units to be either one (1) or two (2) story units per the applicant's request and check for adequate parking, and the space between the existing homes and the new development, seconded by Mayor Tinnin. The vote to approve was three (3), Wheeler, Mayor Tinnin, and Trew, and the no vote was four (4), Barnfield, McNeal, Commissioner Gilmore, and Parnell. The motion failed.

Trew opened the Public Forum for Item #6.

David Elkins – 509 Alta Loma Road

Elkins stated his concern is the zoning change from low density to high density and if they allow high density over into the low-density neighborhood they will have more developers trying to buy somebody out and the next thing will be a bunch of tall skinny houses in the quiet neighborhood. Elkins discussed concerns for the steep property, driveways, and water drainage.

Eric Scott – 519 Alta Loma Road

Scott discussed a natural spring that runs underneath their property and empties out on the proposed drive into the area. Scott’s concern is with the safety of the area in the winter time and how people will get out when it snows. Scott does not think this is the right move for this property.

Tim Boyd – 221 Nathan Drive

Boyd stated that he is one of the original homes in Dry Creek and backs up to the proposed property. Boyd stated that since the property has grown up the drainage hasn’t been bad but if they clear out again, and put asphalt and homes back there the drainage will be ridiculous. Boyd stated over the years they have dumped loads of dirt and does not think the land can be stabilized in that short period of time and do not need additional homes.

Eric Meacham – 127 Draper Drive

Meacham discussed the neighborhood where the original homes were built in the 70’s and they do not want to be surrounded by what East Nashville has become. Meacham discussed the preserved ecosystem and wildlife on the property and hopes they will leave it low density.

Item #6 Dry Creek Cottages Dry Creek Road, Dale and Associates: Requests recommendation to the Goodlettsville City Commission to revise the project master plan to include and rezone an adjacent 1.49 acre property referenced as Davidson County Tax Map/Parcel#03304003300- 0 Draper Drive from R-25, Low Density Residential to HDRPUD, High Density Residential Planned Unit Development to alter the existing master plan from fourteen (14) detached one family dwelling units and a two (2) family detached dwelling unit to sixteen (16) one family detached dwelling units. The existing project is located on the 2.34-acre property referenced as Davidson County Tax Map/Parcels# 033040C90000CO0 to 033040C01400CO at 0-120 Old Ryman Way/Dry Creek Road and are zoned HDRPUD, High Density Residential Planned Unit Development. Property Owners: Meridian Capital Group, LLC and O.I.C. Dry Creek Cottages. (9.1 07-04/9.1# 15-17) (Deferred at July 7th 2025 Meeting)

Item Representative: No Representative

Staff Discussion:

- The developer had a conflict come up and requested a deferral.
- Staff informed the developer they have already notified residents of the meeting and the board can decide if they want to move forward with the request or defer.
- The request was deferred at the July 7, 2025 Planning Commission meeting.
- The proposal includes rezoning an adjacent 1.49-acre property and including a revised master plan for both properties for a total of sixteen (16) detached residential units.
- The existing master plan for the front 2.34-acre property includes fourteen (14) one family detached unit and a two (2) unit attached unit for a total of sixteen (16) units.
- The proposed rezoning and revised master plan does not include any additional units or project density.
- The adjacent 1.49-acre property is zoned R-25, Low Density Residential.
- The properties are designated on the City’s Comprehensive Land Use plan as the boundary between high density residential and low-density residential conservation areas.
- The 1.49-acre property does not contain any roadway frontage.
- The previous Dry Creek Cottages property owner purchased the 1.49-acre property in 2020.
- The existing project master plan includes a retaining wall up to twenty (20 ft) in height along the west property boundary.

- The revised project design intention is to reduce the scale of the retaining walls on the property and to incorporate more valuable residences for sale.
- The properties include a non-improved TVA easement on the properties that limits the full use of the properties.
- The project design includes private development improvements.
- The revised proposal is to maintain the existing number of residential units but spread the units over both the 2.34-acre and 1.49-acre properties.
- The rezoning proposal is for four (4) units on 1.49 acres at 2.68 units per acre.
- The current high-density moratorium is for three (3) or more units per acre.
- The revised plan includes a drive crossing the drainage area between the properties.
- Currently the approved plans and the Tennessee Department of Environment and Conservation (TDEC) site permit does not include the drive crossing.
- If the rezoning and preliminary master plan are approved, then revised engineering plans would be required including also a revised TDEC permit and review of any regulated storm water buffer.
- The drainage culvert under the drive crossing the drainage area would be required to be sized to permit a 100-year design frequency storm water flow through the drainage culvert and include buffers at a minimum two (2X) times the width of the drainage area.
- The Tennessee Department of Environment (TDEC) and Conservation National Pollutant Discharge Elimination System (NPDES) permit was issued May 2019 and is valid until September 2026.
- The property does not include any defined flood hazards per the area Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM).
- Staff Stipulation-Prior to review by the Goodlettsville City Commission, revised building plans including a one car garage meeting the Zoning Ordinance minimum one car garage dimensions of twelve (12') x twenty-two (22') feet and exterior building materials including a minimum fifty (50%) percent brick and/or stone on all building sides.
- Staff Stipulation-If the request is approved, the revised final master plan review by the Planning Commission will include a revised storm water quality and quantity design and storm water buffer as determined with the TDEC review of the drainage area proposed drive crossing.
- Motion Option-Recommend to the City Commission to approve the 1.49-acre property rezoning and revised preliminary master plan including staff stipulations based on the Planning Commission's determination during the meeting that the proposal is in compliance with the City's Comprehensive Plan and Zoning Ordinance.
- Motion Option-Recommend to the City Commission to deny the request based on the Planning Commission's determination during the meeting that the rezoning of the 1.49-acre property and revised master plan are not in compliance with the City's Comprehensive Plan and Zoning Ordinance.
- Motion Option-Defer the request (Applicant's Request) to include additional information as determined by the Planning Commission. (Staff Recommendation)

Planning Commission Discussion:

- Trew, recommend they discuss the request as if the developer was there.
- Parnell discussed the site plans calculations showing elevations for one (1) car and two (2) car garage.
- McCormick responded the garage does not meet the minimum requirement for parking and revised plan includes multiple parking spaces- that was an issue discussed by developer.
- City Manager Ellis commented he would like the board to consider this is the third time the residents

- have come in to express their concern and there's no one here to present the request.
- Barnfield asked what was originally approved a two (2) car or one (1) car garage?
 - McCormick responded he would have to go back and look that he did not think they were garages originally.
 - McCormick discussed the revised project design intention is to reduce the scale of the retaining walls on the property and to incorporate bigger units.
 - Trew questioned if it is denied it goes back to the original plans, correct?
 - McCormick responded yes and if a City Commissioner agrees, they can take it to the City Commission without the recommendation from the Planning Commission.
 - Trew commented he did not like the idea of changing to high density.
 - McCormick responded the reason for high density it is consistent with the zoning out front and spread the 16 units out for larger homes.

Motion: Motion by Commissioner Gilmore to deny the request, seconded by Barnfield. The motion passed unanimously.

Trew opened the Public Forum for Item #7 and #8.

Kay Lamberson – 108 S. Wynridge Way

Lamberson discussed ethics regarding the proposal. Lamberson commented it is legal for the City of Goodlettsville to annex into Sumner County but she would like for them to think about is it ethically right.

Marcus Rowe – 4330 Long Hollow Pike

Rowe discussed the annexation process and stated the County Planning Commission would like to be part of the annexation conversation. Rowe read the first paragraph of the annexation resolution and therefore, it should be under the guidelines of County development. Rowe has concerns for traffic and damage to homes from blasting in the area.

Sarah Childress – 127 N Maple Ridge

Childress commented she is in opposition of this development. Childress stated it has been nine months and having circled around to the same point of contention with the same prospective view of brick and siding. Childress stated she is here because she cares about the community and wants to see it thrive and because she will dearly miss the peace and tranquility of green space when it's gone. Childress discussed as a biologist, she knows what happens when ecosystems are paved over. Childress asked that they consider if they are serving the needs of the community, whether the construction will enrich Goodlettsville in any way but monetarily.

Connie Childress – 127 N Maple Ridge

Childress stated they made Goodlettsville their home over 30 years because of the small town feel and open spaces. Childress discussed continual new development for the community and gaining more traffic, more congestion, more noise, more asphalt, more concrete, more houses, more environmental damage, and more wildlife habitat destruction. Childress discussed what they lose, privacy, peace, quiet, open spaces, wildlife and small-town feel. Childress stated that for some of them seeing sunrise is more important than seeing vinyl siding and brick walls.

James Childress – 127 N Maple Ridge

Childress discussed the timing of the meeting occurring during the fall break and many community members have expressed concerns and not able to attend due to vacations. Childress discussed the results of the citizens City survey. Childress discussed the loss of small-town community, overdevelopment, and natural habitat destruction. Childress discussed the traffic issues and developments proposals for low density and then petitioning for higher density. Childress stated they are downstream from the proposed development that would create a significant loss of rainfall absorption. Childress stated the concerns brought up before have not been addressed and ask they seriously consider all the issues before rubber stamping this and other projects impacting this community.

Justin Wilson – 608 Fall Creek Cr.

Wilson discussed the City survey results showing the citizens do not want more subdivisions, more condos, or single-family homes. Wilson stated once this occurs there's no taking it back and he does not think the annexation should be done. Wilson ended his comments with the vision statement of Goodlettsville and asked is this neighborhood actually enhancing the quality of life for Goodlettsville itself or is it something else?

Wallace Ralph – 4403 Long Hollow Pike

Ralph stated this is the third time he has stood before this body in opposition to this project. Ralph stated he is sympathetic to some of the other speakers concerns specifically the environmental concerns, overcrowding of the schools, and traffic. Ralph stated he has no issue with the seller's right to sell the property and he does not oppose growth. Ralph discussed the original project plans to build 112 units on 45 acres, next submitted for 91 units, not approved and now down to 69 units a reduction in density. Ralph stated as a County resident looking inside to the City he sees nothing but a loss because if they approve this project he can look out his front door and see Goodlettsville City Services delivered where he has none.

Jeremy Billingsley – 121 N Maple Ridge Ln.

Billingsley stated they moved from Hendersonville to Goodlettsville because of the small-town feel. Billingsley discussed the traffic issues now coming from Gallatin, Hendersonville, and Portland down Long Hollow Pike.

Steve Peak – 4404 Long Hollow Pike

Peak stated he and his wife have more to lose because they have 2,000 feet adjoining this property. Peak stated he is not against Phillips builders and thinks they will build a good house. Peak has an issue with the density of the project. Peak stated if they cannot build with 45 houses, then it should not be built.

Chris Reid – 119 N Maple Ridge Ln.

Reid discussed participating and investing their time in City surveys and planning sessions because they care deeply about the City of Goodlettsville's future. Reid discussed concerns for infrastructure, school capacity, and waste water systems. Reid discussed the housing market and is advocating for strategic thoughtful planning rather than annexation.

Cory Spano – 117 N Maple Ridge Ln.

Spano stated this is the third time he has been here and on behalf of many community members who are not able to be here it's abundantly clear they are firmly in opposition of the annexation and development. Spano commented the Commission should focus on the City core and the development of commercial growth in areas for revitalization and not focus on annexing rural areas for development. Spano asked that they deny this and allow the will of the people to be made.

Item #7 Ironwood Residential Development, Phillips Builders/Development Management Group, LLC:

Requests recommendation to the Goodlettsville City Commission to annex and rezone the 45.02-acre properties at 4408 Long Hollow Pike from Sumner County RR, Rural Residential to LDRPUD, Low Density Residential Planned Unit and preliminary master plan approval for sixty-nine (69) one family detached dwelling unit lots. The properties are referenced as Sumner County Tax Map 140 Parcels 124 and 124.01. Property Owner: William B Ralph JR Trustee (15-24)

Item #8 Ironwood Residential Development, Phillips Builders/Development Management Group, LLC:

Request recommendation to the Goodlettsville City Commission to approve the plan of services for the proposed annexation of 45.02 acres at 4408 Long Hollow Pike and a 1,770 feet section of Long Hollow Pike right of way. The properties are referenced as Sumner County Tax Map 140 Parcels 124 and 124.01. Property Owner: William B Ralph JR Trustee.

Staff Discussion:

- The proposal is a requested annexation.
- The properties are located within the City of Goodlettsville Sumner County Urban Growth Boundary and are contiguous to the City limits.
- The City will also be reviewing an extension of the City limits 1,770 feet along the Long Hollow Pike right of way to include the property frontage.
- The plan of service process is required by state law to define the extension of City services to the property and the proposed timing.
- If the annexation request is approved, City services for the existing residence on the property including police, fire, trash, planning and code services, and park and recreation resident services and rates would be effective at the approval date of the annexation.
- Since the proposed annexation is for a proposed development, the developer with an approved project is required to extend utility services (water, sewer, electric) and complete required Long Hollow Pike improvements required per the TDOT, Tennessee Department of Transportation requirements.
- The Planning Commission at the September 9, 2024 meeting deferred the proposal for 112 one family detached dwelling (house) lots (2.4 units per acre) to the January 2025 meeting.
- The Planning Commission at the January 6, 2025 meeting recommended denial of the revised project master plan including 91 lots (2.02 units per acre).
- The original proposal was a MDRPUD, Medium Density Residential Planned Unit Development rezoning request.
- The revised proposal is a LDRPUD, Low Density Residential Planned Unit Development rezoning request with sixty-nine (69) one family detached dwelling lots (1.53 units per acre).
- The annexation process also requires a property rezoning to designate the property a Goodlettsville zoning district.
- The City's Comprehensive Land Use Plan designates the area as Residential Development Low Density.
- The proposal is for 1.53 units per acre which is consistent with the Low-Density designation of the Comprehensive Land Use Plan within the one to two (2) units per acre range.
- The plan defines low medium density at three (3) to four (4) units per acre.

- The Comprehensive Plan also defines reviewing project design including lot sizes based on adjacent lot areas.
- The revised master plan proposal includes larger lots at ninety (90') and one hundred (100') feet lot widths per the previous Planning Commission project review discussions.
- The previous proposal included lot sizes initially ranging from fifty-five (55') / seventy-three (73') feet and the January 2025 revised proposal included eighty-five (85') / ninety (90') feet lot widths.
- The adjacent Wynridge Development is zoned LDRPUD, Low Density Residential Planned Unit Development and the Copper Creek Development is zoned both LDRPUD, Low Density Residential Planned Unit Development and MDRPUD, Medium Density Residential Planned Unit Development.
- Per the City's Zoning Ordinance, the revised proposal including sixty-nine (69) lots is less than the City's defined requirement for a traffic study with residential projects exceeding seventy-five (75+) lots.
- The Long Hollow Pike improvements shown on the preliminary master plan proposal are based on a discussion with TDOT staff at the time of the initial 112 lot development proposal.
- Staff anticipates TDOT to maintain the Long Hollow Pike turn lane improvements requirements previously discussed with the revised proposal of sixty-nine (69) lots.
- Staff received a water service utility commitment letter from the White House Utility District (WHUD) including required water main improvements required by the project developer.
- The City's Sewer Department is currently reviewing the proposal regarding main extension and connection requirements to be completed by the project developer.
- The revised project design does not include a roadway connection to the N. Maple Ridge Lane public road right of way.
- The roadway connection is not shown on the revised project proposal due to the comments the developer received about concerns with the roadway connection.
- The City's adopted Fire Code requires a second point of access for the proposed number of lots.
- City staff requests for emergency services reasons that a gated connection limited access drive with a minimum twelve (12') feet width be installed within a dedicated twenty (20') feet access easement.
- Annexation/Plan of Services:
- Staff Stipulation-City of Goodlettsville Sewer service letter to be obtained prior to the City Commission final review of rezoning and preliminary master plan.
- Staff Stipulation-Limited emergency gated connection to N. Maple Ridge Lane public road right of way for emergency services as defined above.
- Motion Option-Recommend to the Goodlettsville City Commission approval of the LRPUD, Low Density Residential Planned Unit Development rezoning and revised preliminary master plan including the staff stipulations based on the Planning Commission's determination during the meeting that the proposal is in compliance with the City's Comprehensive Plan and Zoning Ordinance. (Staff Recommendation)
- Motion Option-Recommend to the Goodlettsville City Commission denial of the LDRPUD, Low Density Residential Planned Unit Development rezoning and revised preliminary master plan based on the Planning Commission's determination during the meeting that the proposal is not in compliance with the City's Comprehensive Plan.
- Motion Option-Defer the request to include additional information as determined by the Planning Commission.
- Trew restated what the board would be voting on the annexation, rezone and plan of services.

Item Representative: David Abby, Development Management Group and Jason Phillips, Phillips Builders

Planning Commission Discussion:

- Abby stated with sixty-nine (69) units this is roughly one and half unit per acre.
- Abby discussed the lot sizes being in range with Wynridge.

- Abby discussed the exterior boundaries with a thirty-five (35) foot undisturbed buffer.
- Abby discussed the back amenity area, and open space.
- Abby discussed the secondary access emergency connection- pervious type connection similar to what they have done for other projects.
- Abby discussed the parallel road to Long Hollow Pk frontage road and houses not backing up to Long Hollow Pike.
- Abby discussed the concerns for drainage and design will be required
- Abby discussed the left turn in off Long Hollow Pk.
- Trew asked McCormick where the emergency access/gate road would be.
- McCormick responded at the end of North Maple where the road is built to the property line.
- City Manager Ellis discussed the emergency access requirement under the International Fire Code.
- Parnell discussed the two cul-de-sacs going off the North side on the plans.
- Parnell discussed citizen comments and concerns from the last meeting were plans not matching Wynridge, density higher, lots smaller and houses not as nice.
- Parnell discussed the new plans addressing the concerns and feels like the requests that have been made have been met.
- Parnell discussed the process for annexing property.
- McCormick clarified the motion options as the board can choose to do one (1) motion if they want to include both agenda items or vote on them separately.
- Trew confirmed if this is approved it will go to the City Commission, and if it is denied it can still go to the City Commission.
- McCormick explained the process if it is denied by the Planning Commission.
- Trew asked for a motion to recommend, deny, or defer for annexation and rezoning of this property to low density.

Motion: Motion by Barnfield to deny the request, seconded by McNeal.

- Commissioner Gilmore commented he agrees with Parnell the neighborhood that is proposed is definitely equivalent as far as homes with Wynridge. Commissioner Gilmore discussed the lot size in the comprehensive plan coming up and the urban growth plan. Commissioner Gilmore shared his concerns with Mr. Phillips and what the people of the City wanted and he is a voice for the citizens.
- Commissioner Gilmore commented he did not know the vision for annexations in the future and one day we will probably see this area developed but at this time he did not think they're ready for that.
- Phillips discussed the price point of the proposed homes and believes they are the right applicant and the homes will increase property values in neighboring communities.

The vote to deny was three (3), Barnfield, McNeal, Commissioner Gilmore, and the no vote was four (4), Trew, Mayor Tinnin, Parnell and Wheeler. The motion failed.

- Wheeler discussed a different motion since Sumner County Schools are on Fall break and a number of people are not present that would have been to speak.

Motion: Motion by Wheeler to defer for one (1) month. Motion failed due to no second.

Motion: Motion by Parnell to approve the request for annexation and rezoning as long as the right-of-way is provided to the North property lines of the project, seconded by Commissioner Gilmore.

- Parnell commented land that is encompassed in the City limits is used to the highest and best use possible for that land because that adds value and grows economically.
- Parnell commented this area should be a residential area and discussed lot sizes, infrastructure, roads and the cost to maintain subdivisions with an acre lot vs smaller lots.
- Parnell commented economically it is beneficial for them to do everything they can to make sure every piece of property in the City limits of Goodlettsville is used to its highest and best use and what is being proposed is exactly that and reasonable.

The vote to approve was three (3), Trew, Mayor Tinnin, and Parnell, and the no vote was four (4), Barnfield, Commissioner Gilmore, McNeal, and Wheeler. The motion failed.

DISCUSSION ITEMS:

-Long Hollow Pike/Willis Branch Road- Horse Stables/Events- Conceptual Proposal-

Staff received a request for the 27.4-acre properties at the corner of Long Hollow Pike and Willis Branch Road. The properties are zoned R-40, Low Density Residential. The request is to use the property (in addition to existing homes) for a commercial horse stable and special events. The request would require a Zoning Ordinance amendment to permit the requested uses in a residential zoning district.

Mayor Tinnin stated the representative had an emergency and ask if they could defer the conservation until next month.

Jim Hitt – 723 Long Hollow Pike

Hitt stated he did not think this is a good idea for this piece of property and he stated the reasons for that in the letter he sent to all of them.

Long Hollow Pike/Willis Branch Road-Horse Stables/Event deferred for one month.

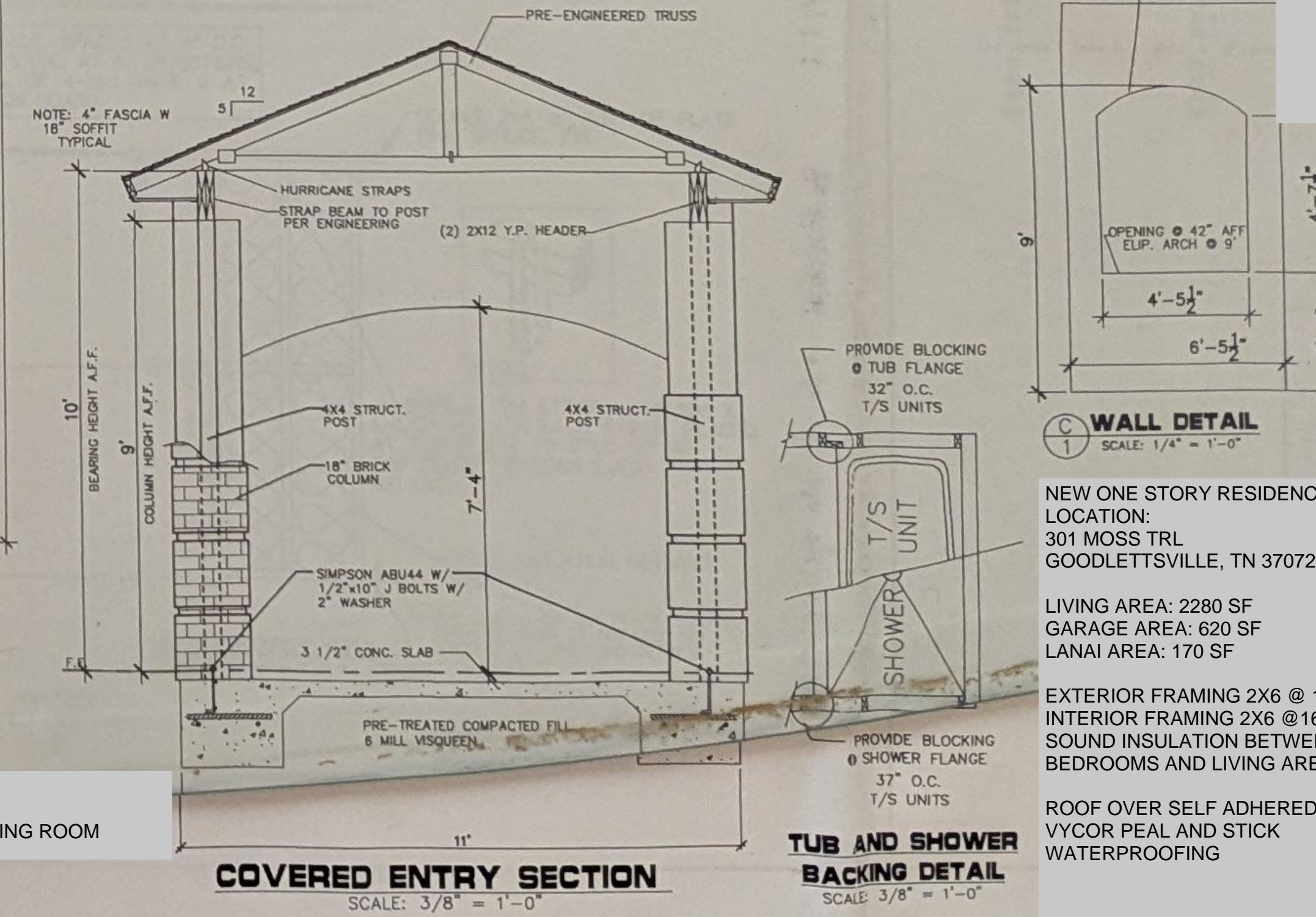
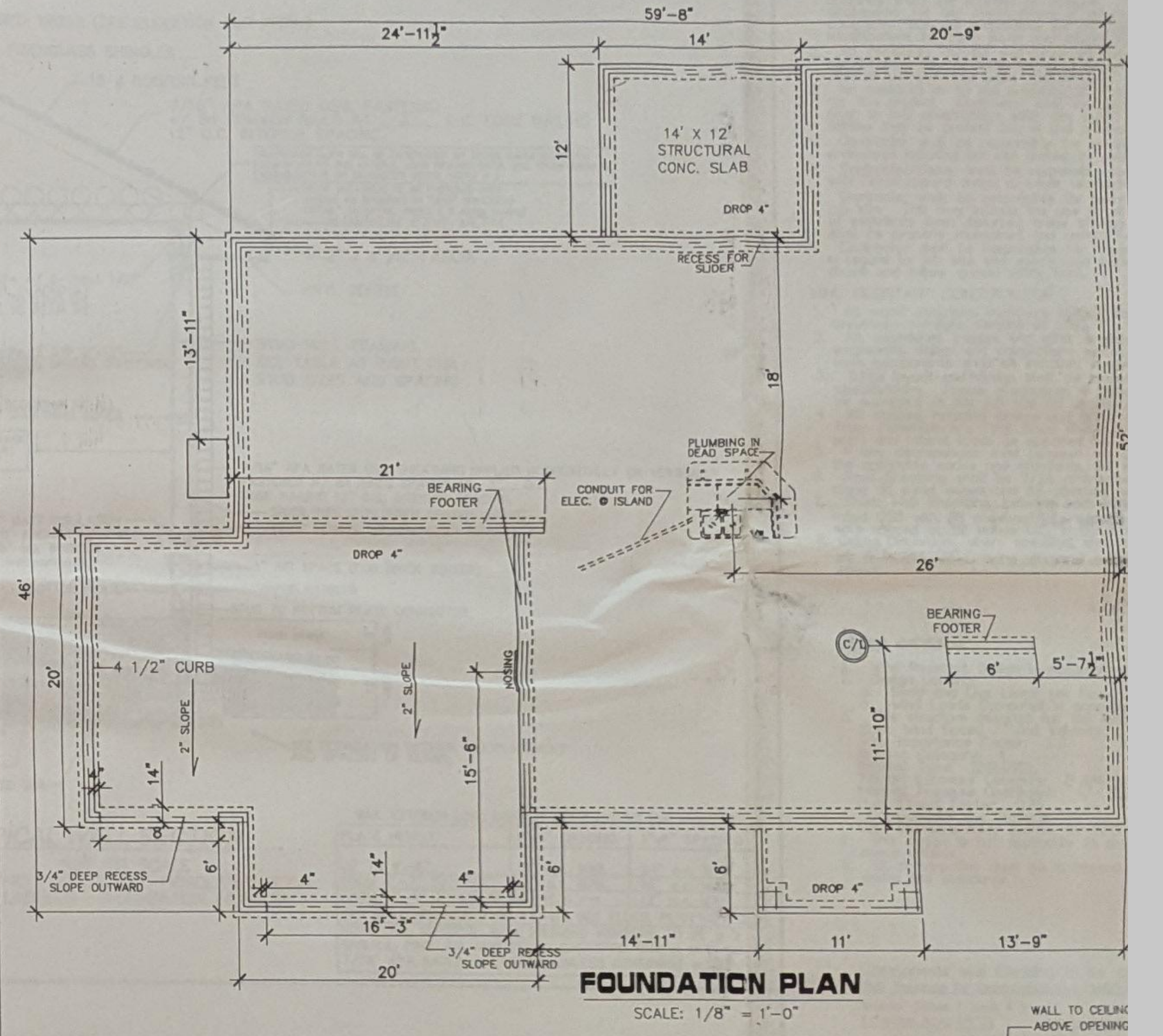
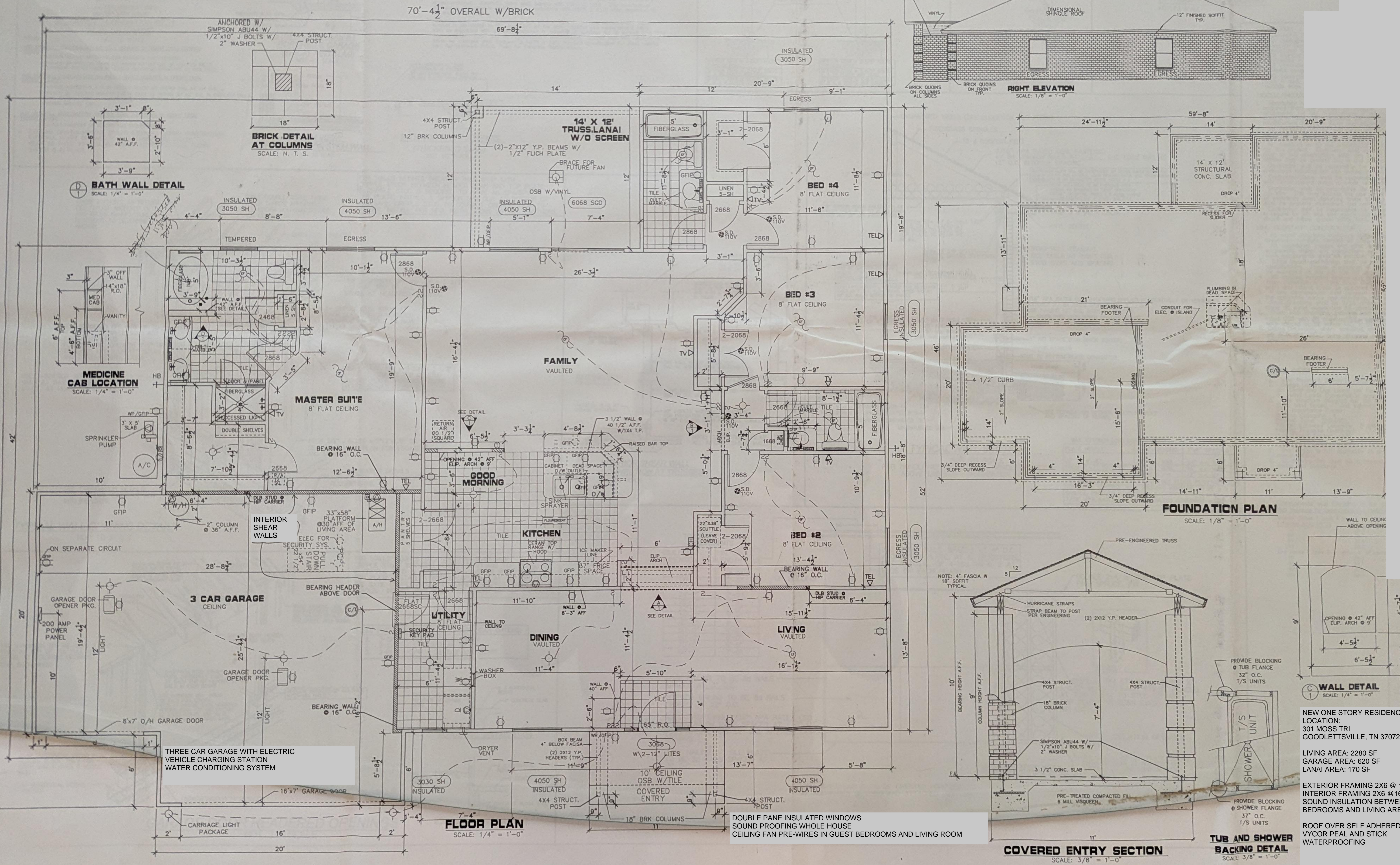
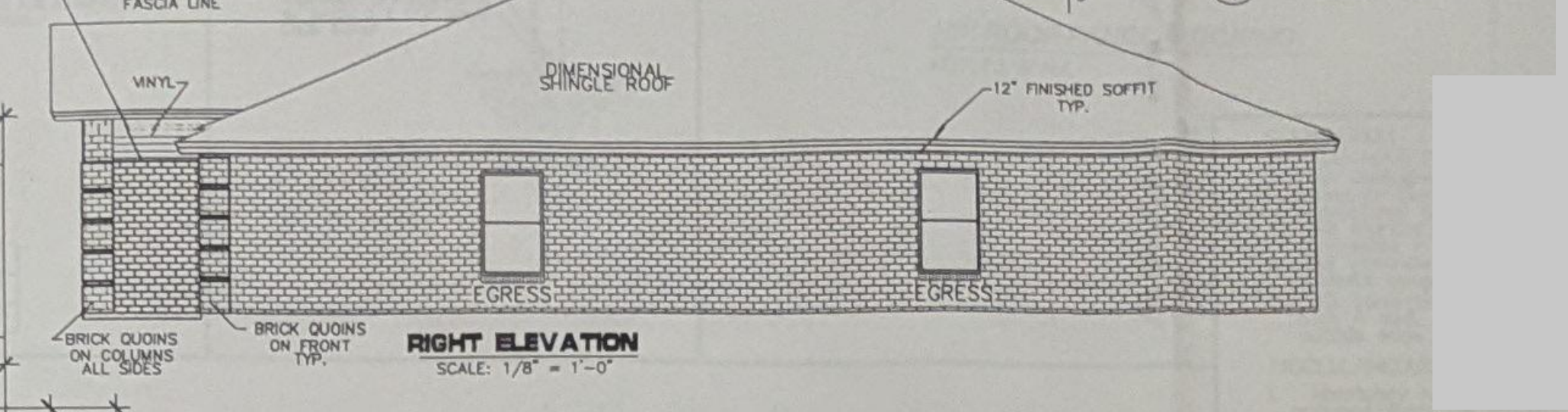
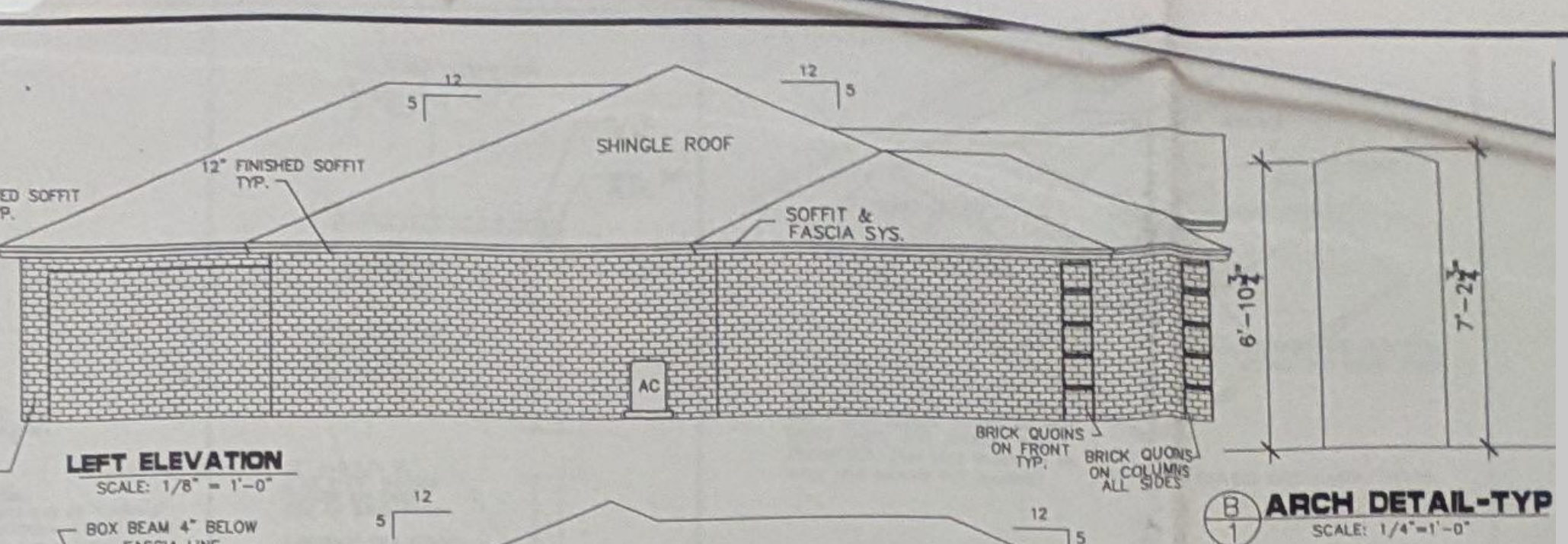
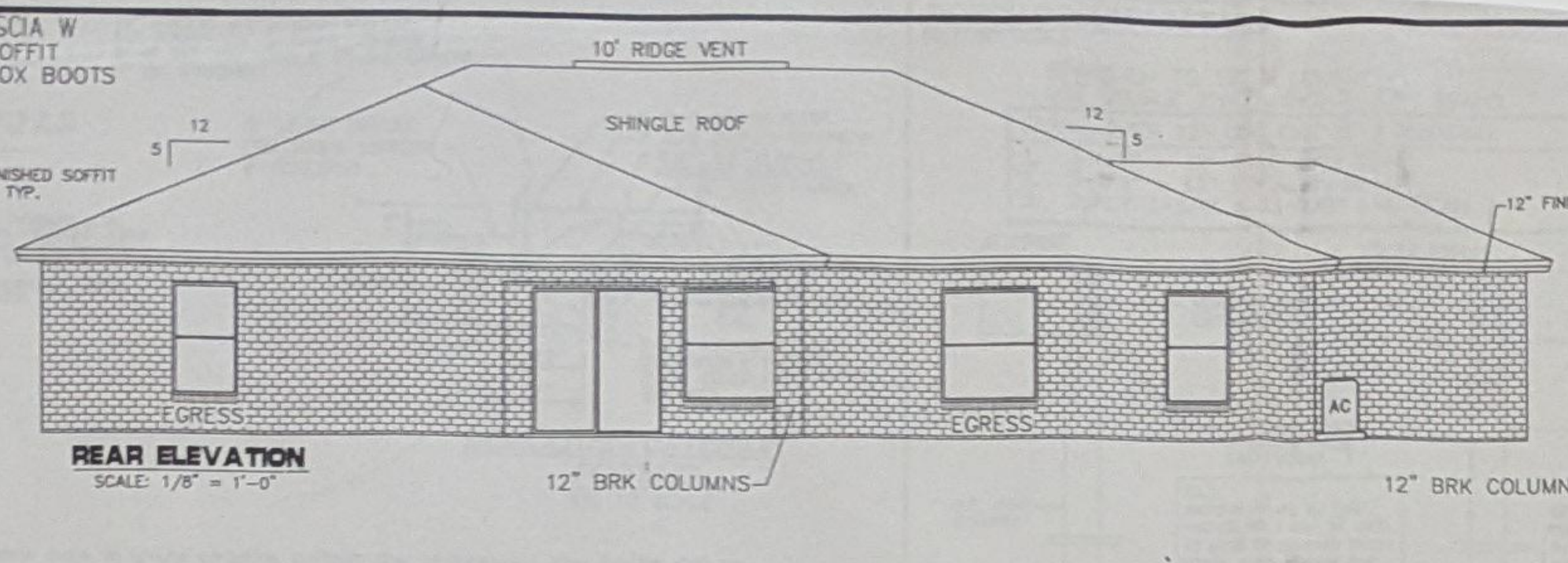
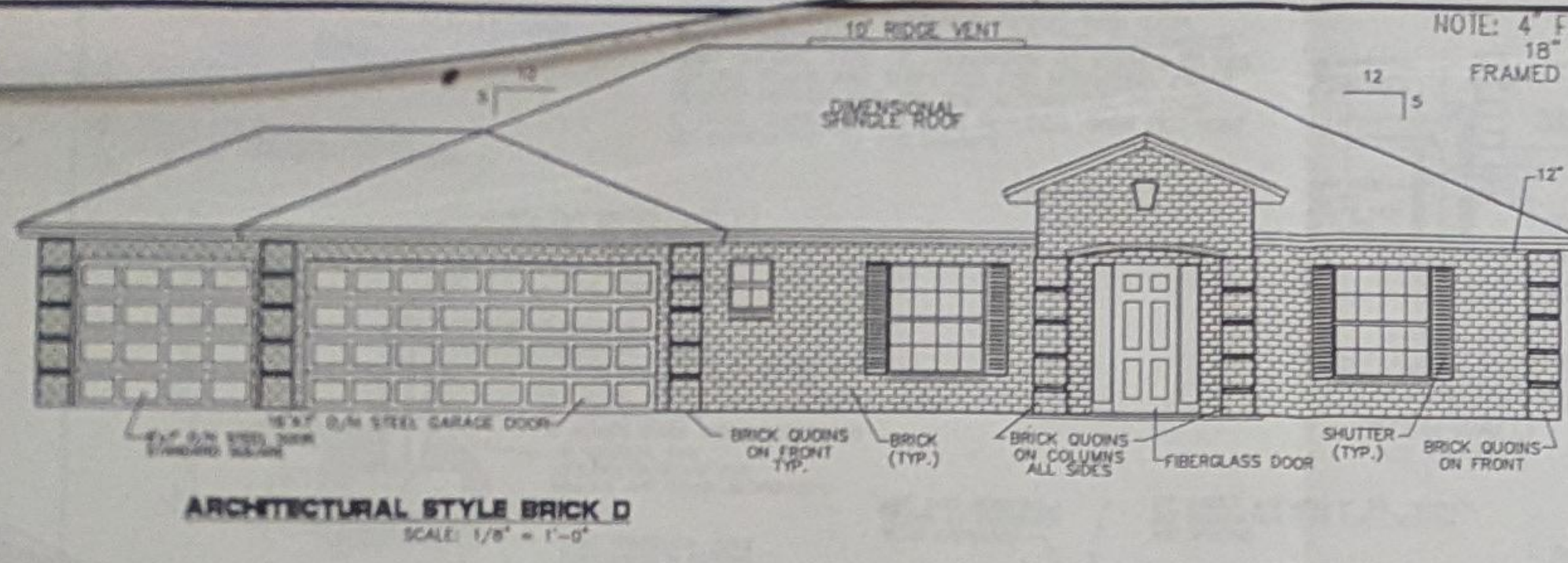
-Comprehensive Plan Amendment- Survey Results-

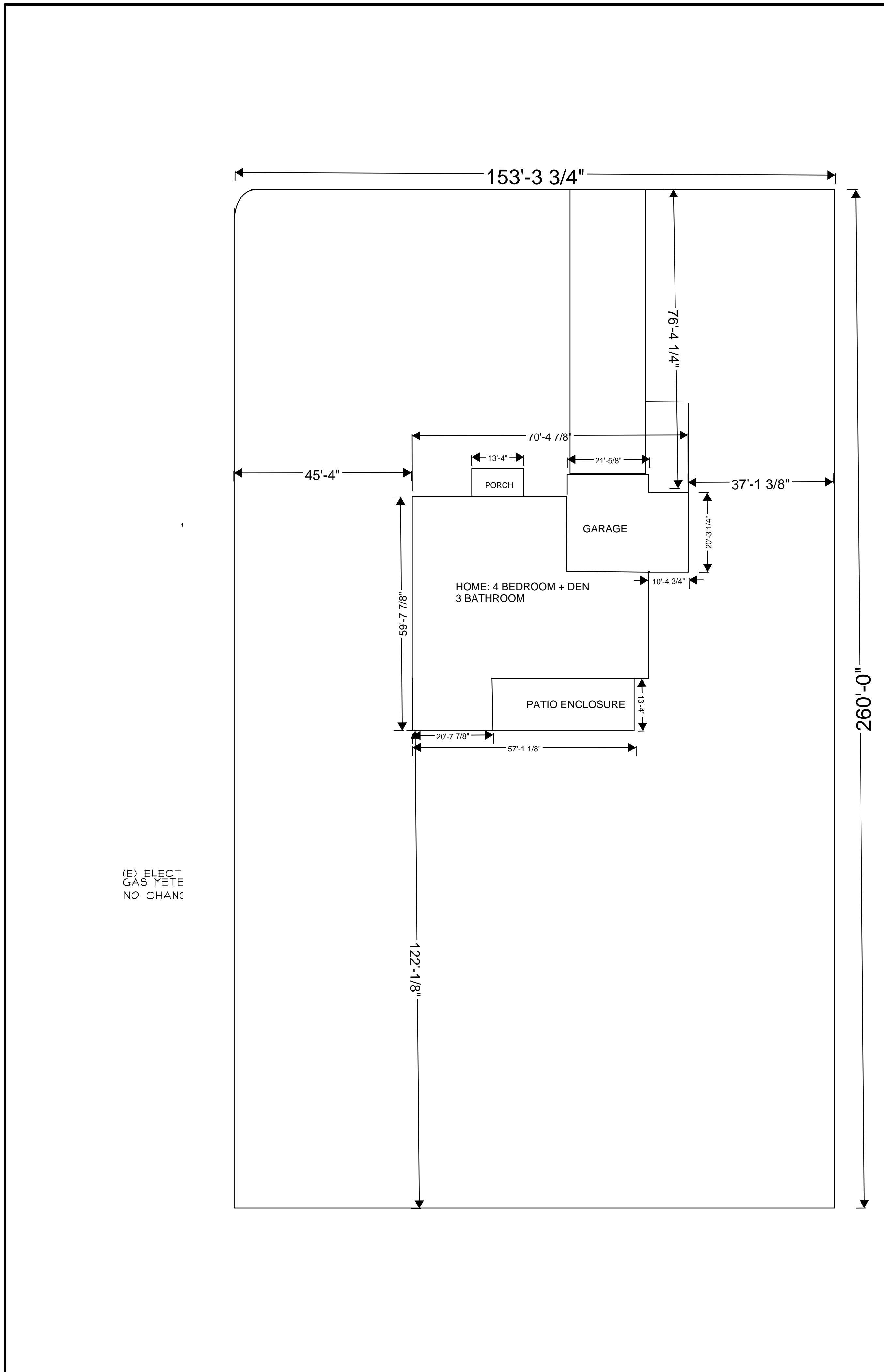
Sean Pfalzer presented a summary of the Comprehensive Plan, Community Engagement survey comments.

With no further business, the meeting was adjourned at 7:55 pm.

Scott Trew, Chairman

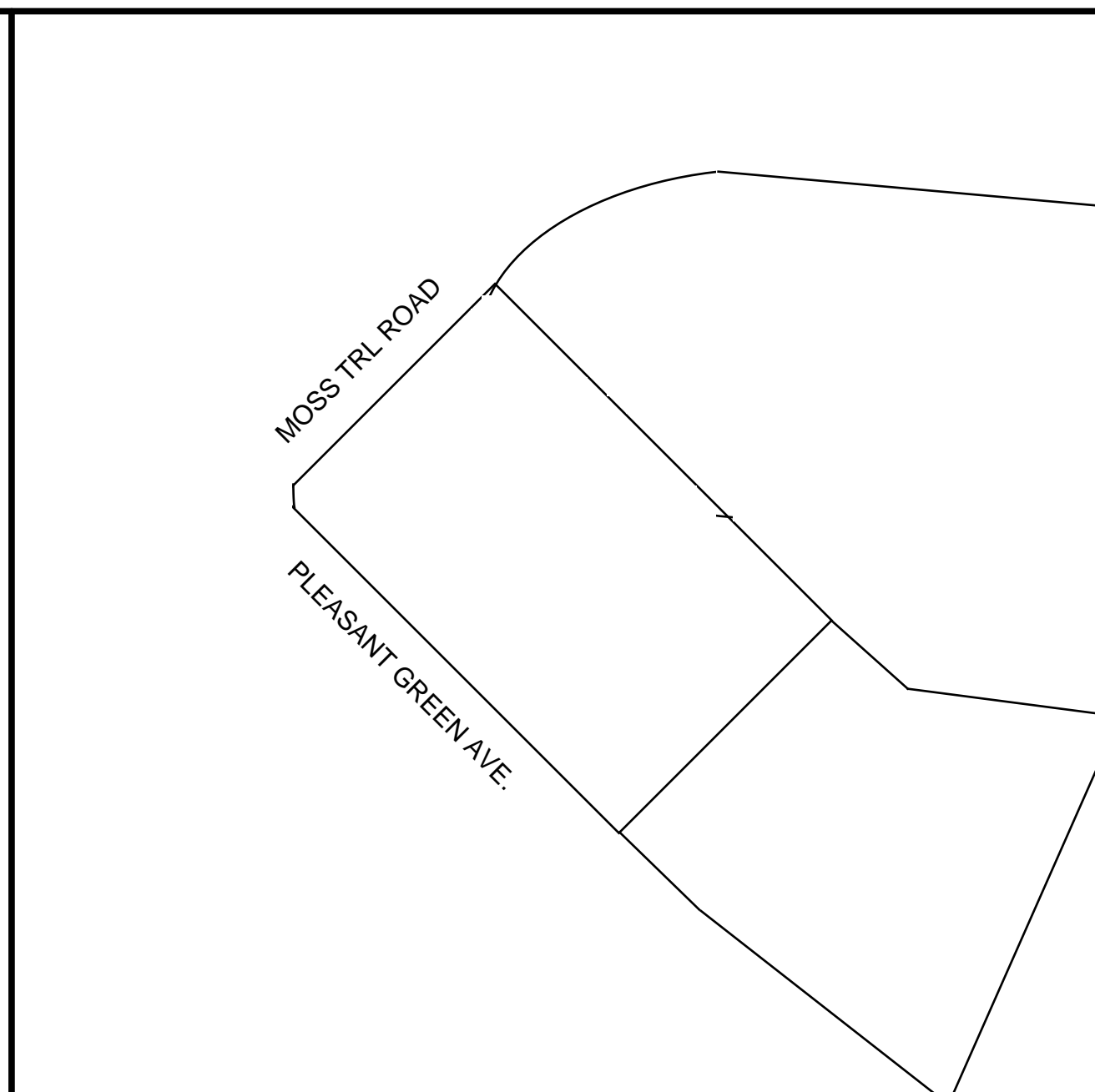
Sharon Reed, Planning Assistant





SITE PLAN

SCALE: 1"=10'-0"



VICINITY MAP

- NON-STRUCTURAL SHEETS**
- A.1.1 SITE, DATA, VICINITY
 - A.2.1 FLOOR PLAN W/ ELECT., ELEVS. SECTION
- STRUCTURAL SHEETS (PELTON-WYLIE)**
- S1.1 GENERAL STRUCTURAL NOTES
 - S1.2 TYPICAL STRUCTURAL DETAILS
 - S2.1 FOUNDATION PLAN, ROOF FRAMING PLAN
 - S3.1 STRUCTURAL DETAILS

SHEET INDEX

DESIGNER/PLANS: MBZ BUILDING COMPANY
301 MOSS TRL
GOODLETTSVILLE, TN 37072
925-984-3314

ENGINEER:

- SCOPE OF WORK:
1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO "ACCA" MANUAL "I" OR EQUIVALENT.
 2. SIZE HEATING SYSTEMS ACCORDING TO "ACCA" 24-D (MANUAL D) OR EQUIVALENT.
 3. SELECT A HEATING AND COOLING EQUIPMENT ACCORDING TO "ACCA" 3 (MANUAL S) R EQUIVALENT.

NO. OF STORIES: ONE STORY
BLDG HEIGHT: 24 FOOT PEAK AT RIDGE
OCCUPANCY: RESIDENTIAL, USE ZONE: R-25
CONST. TYPE: WOOD FRAMED, BRICK

PROJECT INFO

SITE UTILITY REQUIREMENTS
PRIOR TO START ANY WORK, THE CONTRACTOR IS TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, AND PROTECT THEM FROM DAMAGE. ALL UTILITY COMPANY REQUIREMENTS SHALL BE DETERMINED PRIOR TO START OF WORK. CONTRACTOR SHALL CALL U.S.A. UNDERGROUND SERVICE ALERT) AT 811 TO VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF ANY GRADING OR EXCAVATION.
ALL UTILITIES TO RUN UNDERGROUND UNLESS NOTED OTHERWISE ON THE PLANS.
SEWER LATERALS TO SLOPE MIN 1/4" PER FOOT, WHERE LATERALS ARE SUBJECT TO VEHICLE LOADS, NON-METALLIC LATERALS SHALL BE MIN 3" BELOW PAVING, OR SHALL BE METALLIC PIPING APPROVED FOR SEWER LATERAL USE.
GRADING, DRAINAGE, EXCAVATION
ALL GRADING SHALL COMPLY WITH THE 2002 CRC AND ALL THE GRADING ORDINANCES OF THE CITY OR COUNTY AGENCY HAVING JURISDICTION OVER THIS PROJECT.
GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND CORRECTING WITH ALL REQUIREMENTS OF ANY SOILS REPORT WHICH EXISTS FOR THE SUBJECT PROPERTY.
FIELD INSPECTOR MAY REQUIRE REVISIONS TO THE PLANS OR SITE CONDITIONS TO SOLVE AN UNFORESEEN PROBLEM THAT MAY ARISE IN THE FIELD.
#4 SEPARATE ENGINEER GRADING/DRAINING PLAN IS INCLUDED AS PART OF THESE PLANS, IT SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
CUT & FILL
CUT OR FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITHOUT JUSTIFICATION FROM A SOILS REPORT.
ALL DISTURBED SURFACES (CUT OR FILL) SLOPED 4:1 OR GREATER SHALL BE PREPARED AND MAINTAINED TO PREVENT EROSION BY EFFECTIVE PLATING.
ALL FILL SUPPORTING STRUCTURES TO BE COMPACTED TO 100% OF STANDARD DENSITY.
ALL AREAS TO RECEIVE FILL TO BE CLEARED, SCARIFIED, AND INSPECTED BY A SOILS INSPECTOR WHEN REQUIRED BY THE BUILDING OFFICIAL PRIOR TO PLACING AND COMPACTING MATERIAL. IF THE CONTRACTOR ENCOUNTERS SUB-SURFACE CONDITIONS AT THE SITE THAT ARE MATERIALLY DIFFERENT FROM THOSE INDICATED ON THE PLANS AND SPECIFICATIONS, AND COULD NOT HAVE BEEN REASONABLY ANTICIPATED AS INHERENT IN THE WORK OF THE CHARACTER PROVIDED IN THE PLANS/CONTRACT, HE SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGNER REGARDING THE NATURE OF THE DIFFERENCE.
ALL EXPORT MATERIAL, UNSUITABLE SOILS MATERIAL, RUBBISH, AND DEBRIS FROM THE GRADING OPERATION SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF PROPERLY AT AN ACCEPTABLE LOCATION.
DUST CONTROL MEASURES SHALL BE TAKEN TO PREVENT A NEIGHBOR OR DAMAGE TO PROPERTY PERSONS, ANIMALS, OR VEGETATION IN THE AREA OF THE CONSTRUCTION SITE.
NO CUT OR FILL IS ALLOWED WITHIN THE DROP LINE OF EXISTING TREES UNLESS TO REPAIR OR MAINTAIN.
FINISH GRADING/EROSION CONTROL
PROVIDE MIN 2% SLOPE AWAY FROM BUILDING FOR MIN 10 FT. ALL SIDES, MIN 3' WHERE LESS THAN 10' FROM PROP LINE.
GUTTERS AND DOWNSPOUTS TO BE INSTALLED ON THE EAVES OF ALL ROOF AREAS.
ROOF WATER TO BE DISPERSED IN A NON-EROSIVE WAY USING SLASH BLOCKS OR OTHER APPROVED METHOD.
PAVED AREA (PATIOS, WALKS, ETC.) TO SLOPE AWAY FROM BUILDING AND MAX 2% IN ALL DIRECTIONS.
ALL SITE WATER IS TO DRAIN TO STREET OR TO OTHER APPROVED DRAINAGE FACILITIES AS NOTED ON THE PLANS.
GREEN BUILDING STANDARDS (MANDATORY MEASURES AS APPLICABLE)
SITE DEVELOPMENT:
(4504.1) A PLAN SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.
(4504.2) THE SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM THE BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING AND/OR DRAINAGE SYSTEM WILL MANAGE SURFACE WATER FLOWS.
ENERGY EFFICIENCY:
(4504.3) RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY TENNESSEE'S ADOPTED COMMISSION STANDARDS.
ENHANCED DURABILITY AND REDUCED MAINTENANCE:
(4504.1) JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST PENETRATIONS BY ROBERTS BY CLOSING SUCH OPENINGS WITH CERTIFIED PORTLAND CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING:
(4504.3) A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE.
BUILDING MAINTENANCE AND OPERATOR:
(4504.1) AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
FIREPLACES:
(4504.1) ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT VENT SEALED COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH THE EPA PHASE 2 EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
POLLUTANT CONTROL:
(4504.1) DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
(4504.2) ADHESIVES, SEALANTS AND CALCKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
(4504.2) PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
(4504.2) AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT BEIGHTED "100" LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.
(4504.2) DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
(4504.3) CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
(4504.4) 80% OF FLOOR AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE "COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS" (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE "RESIDENT FLOOR COVERING INSTITUTE" (RFCI) "FLOOR SCORE" PROGRAM.
(4504.5) PARTICLE BOARD, MEDIUM DENSITY FIBER BOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS.
(4504.6) INTERIOR HUMIDITY CONTROL: WALLS AND FLOOR FRAMING SHALL NOT EXCEED 18% MOISTURE CONTENT. CONTRACTOR TO PROVIDE TEST DOCUMENTATION.
(4504.7) INTERIOR AIR QUALITY AND EXHAUST: EACH BATHROOM SHALL BE MECHANICALLY VENTILATED TO COMPLY WITH THIS SECTION.
(4504.8) BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM.
(4504.9) BATHROOM HUMIDITY CONTROL: WALLS AND FLOOR FRAMING SHALL BE READY ACCESSIBLE HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80 PERCENT.
ENVIRONMENTAL COMPLIANCE:
(4504.10) HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SEED, DESIGNED AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO "ACCA" MANUAL "I" OR EQUIVALENT.
2. SIZE HEATING SYSTEMS ACCORDING TO "ACCA" 24-D (MANUAL D) OR EQUIVALENT.
3. SELECT A HEATING AND COOLING EQUIPMENT ACCORDING TO "ACCA" 3 (MANUAL S) R EQUIVALENT.
INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS/VERIFICATIONS:
(4504.11) HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
E.V. CAPABLE CIRCUIT (4504.12)
NEW 1 1/2 FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES SHALL INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 220-VOLT BRANCH CIRCUIT FOR AN E.V. CHARGER. THE RACEWAY SHALL BE INSTALLED AT THE NORMAL 7' IN THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUB-PANEL AND SHALL PROVIDE CAPACITY TO INSTALL A 40 AMP 120V DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

GENERAL CONSTRUCTION
ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

ALL OTHER LOCAL CODES AND ORDINANCES ADOPTED BY THE AGENCIES HAVING JURISDICTION OVER THIS PROJECT.

LARGE SCALE DRAWINGS (DETAILS) SHALL TAKE PRECEDENCE OVER SMALLER SCALE DIES (PLANS, ETC.).
DO NOT SCALE DRAWINGS!
UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND CORRECTING WITH ALL REQUIREMENTS OF ANY SOILS REPORT WHICH EXISTS FOR THE SUBJECT PROPERTY.
THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT. CONTRACTOR AND SUB-CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF ALL CODES APPLICABLE TO THIS PROJECT. IT IS NOT INTENDED THAT THE CONTRACT DOCUMENTS INCLUDE EACH AND EVERY SUBSYSTEM/COMPONENT NECESSARY TO FULLY AND PROPERLY COMPLETE THE WORK. SUBSYSTEMS/COMPONENTS AND/OR DETAILS NORMALLY REQUIRED/INCLUDED AS TRADE PRACTICE MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. NEVERTHELESS, THE CONTRACTOR IS RESPONSIBLE FOR EACH ELEMENT OF WORK REQUIRED FOR A COMPLETE, PROPER AND FULLY FUNCTIONAL INSTALLATION.
THE DESIGNER HAS NO ROLE UNLESS SPECIFICALLY GRANTED UNDER SEPARATE CONTRACT IN THE CONSTRUCTION OBSERVATION OF THIS PROJECT. THE CONTRACTOR IS PRIMARILY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THE PROJECT. ALL QUESTIONS/CLARIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR. TYPICAL DETAILS SHALL APPLY TO ALL PAGES OF THE PLANS, UNLESS OTHERWISE SPECIFIED. UNLESS OTHERWISE SPECIFIED, TYPICAL DETAILS AND GENERAL NOTES ARE INTENT REQUIREMENTS AND ARE TO BE USED WHEN SPECIFIC CONDITIONS ARE NOT SHOWN TO BE OTHERWISE. WHERE IN ANY SPECIFIC CASE, DIFFERENT NOTES ON THESE PLANS SPECIFY DIFFERENT MATERIALS, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE RESTRICTIVE WILL GOVERN. WHERE THERE IS A CONFLICT BETWEEN GENERAL REQUIREMENTS AND SPECIFIC ONES, THE SPECIFIC ONES SHALL GOVERN.
CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE LOCAL BUILDING DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT LOCAL BUILDING DEPARTMENT FOR ALL REQUIRED INSPECTIONS. AN APPROVED SET OF PLANS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. ONLY APPROVED BY THE BUILDING DEPARTMENT. PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. WHEN INSPECTIONS ARE REQUIRED, THEY SHALL COMPLY WITH CRC RC 104.
THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES, CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK. CONTRACTOR'S OWN RISK IN THE EVENT THAT ANY CORRECTION OR CLARIFICATION TO THESE PLANS IS REQUIRED. THE CONTRACTOR SHALL CONTACT THE DESIGNER IMMEDIATELY UPON DISCOVERY OF ANY INCONSISTENCY, DISCREPANCY, OR ERROR WITHIN THE SET OF DRAWINGS BEFORE CONTINUING WITH CONSTRUCTION.
NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED TO PERMIT ANY INSTALLATION IN VIOLATION OF APPLICABLE CODES OR REGULATIONS. SHOULD ANY CHANGES IN THE DRAWINGS BE NEEDED IN ORDER TO COMPLY WITH THE APPLICABLE REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER AT ONCE AND CEASE WORK ON ALL PARTS OF CONSTRUCTION WHICH ARE AFFECTED.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE DETAILS REQUIRED BY THE VARIOUS CODES, BUT NOT SPECIFICALLY IN THESE PLANS ARE COMPLETED ACCORDING TO CODE.
THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN. THEY DO NOT INCLUDE THE METHOD OF CONSTRUCTION. EACH CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION REANS, METHODS AND PROCEDURES IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES.
THE CONTRACTOR SHALL EXERCISE CARE DURING ALL DEMOLITION AND/OR REMOVAL WORK INCLUDING PROTECTING EXISTING STRUCTURES/WORK THAT IS TO REMAIN AS WELL AS PROVIDING TEMPORARY SUPPORT WHEN AND WHERE REQUIRED THROUGHOUT CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING STRUCTURES, EQUIPMENT, AND/OR FINISHES SHALL BE REPAIRED AT THE EXPENSE OF THE INVOLVED CONTRACTOR/SUB-CONTRACTOR. LOCATE ANY UNDERGROUND UTILITIES BY CONTACTING UNDERGROUND SERVICE ALERT (USA) PRIOR TO DIGGING. ETC. CONTRACTORS SHALL ALLOW ANY PORTION OF NEW OR EXISTING WORK TO BE OVERLOADED.
ALL MATERIALS AND WORKMANSHIP SHALL BE NEW AND THE BEST OF ITS CLASS AND KIND.
ALL MATERIALS SHALL BE DELIVERED TO THE JOB SITE IN THEIR ORIGINAL UNOPENED CONTAINERS/BUCKLES AND STORED FOR PROTECTION AGAINST DAMAGE FROM TAMPING, WATER AND/OR FREEZING.
WHERE A MANUFACTURER IS INDICATED FOR A SPECIFIC ITEM INSTALL SPECIFIED ITEM TO MEET THE MANUFACTURER'S RECOMMENDATIONS.
ALL TRADE NAMES CALLED OUT ON DRAWINGS MAY BE CHANGED FOR ANOTHER APPROVED EQUAL UNO.
ALL CONTRACTORS SHALL COOPERATE WITH EACH OTHER IN THE VARIOUS PARTS OF THE WORK SO THAT THE WORK OF ONE WILL NOT BE DELAYED UNNECESSARILY BY THE WORK OF ANOTHER. GENERAL CONTRACTOR IS RESPONSIBLE FOR OVERALL COORDINATION OF WORK.
CONTRACTORS SHALL FOLLOW ALL APPLICABLE INDUSTRIAL SAFETY REGULATIONS. THE LOCAL GOVERNMENT AGENCY, OWNER, DESIGNER, OR ENGINEER ARE NOT RESPONSIBLE FOR ENFORCING SAFETY CODES.
EACH CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE SITE FROM TIME TO TIME ALL WASTE, MATERIALS, AND DEBRIS WHICH MAY ACCUMULATE ON THE SITE OR IN THE BUILDING AS A RESULT OF HIS WORK. FINAL CLEAN UP OF ALL SURFACES AND REMOVAL OF FOREIGN SUBSTANCES FOR THE JOB SITE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
GENERAL CONTRACTOR TO COORDINATE WITH THE OWNER'S REGARDING THE SELECTION OF ANY ITEMS NOT SPECIFIED IN THESE PLANS, INCLUDING BUT NOT LIMITED TO KITCHEN APPLIANCES, BATHROOM SPECIALTIES, CABINETS, INTERIOR FINISHES, FLOOR COVERINGS, HARDWARE, AND ELECTRICAL FIXTURES.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE INSTALLATION OF ANY BUILDING PRODUCT DOES NOT VOID THE WARRANTY OF ANY OTHER PRODUCT.
EACH CONTRACTOR SHALL THOROUGHLY EXAMINE AND BE FAMILIAR WITH THE DRAWINGS AND RELATED SPECIFICATIONS. THE BID SUBMITTAL BY THE CONTRACTOR REPRESENTS THAT HE IS FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND FULLY UNDERSTANDS THE FACILITIES, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK FOR THIS PROJECT. THE FAILURE OR OMISSION OF ANY CONTRACTOR TO RESOLVE OR CLARIFY ANY PART, INSTRUMENT, OR OTHER DOCUMENT, OR TO VISIT THE SITE AS NECESSARY AND BECOME ACQUAINTED WITH THE CONDITIONS EXISTING THERE, SHALL IN NO WAY RELIEVE HIM FROM HIS OBLIGATIONS WITH RESPECT TO THEIR BID OR CONTRACT. EACH CONTRACTOR SHALL BE TOTALLY FAMILIAR WITH THE PERTINENT RULES AND REGULATIONS OF GOVERNING BODIES HAVING JURISDICTION OVER LABOR AND MATERIAL MARKET, AND SHALL MAKE DUE ALLOWANCE FOR ALL CONTINGENCIES. NO ADDITIONAL CHARGES SHALL BE ALLOWED BECAUSE OF LACK OF SUCH KNOWLEDGE.
SHOULD THE OWNER OR CONTRACTOR DECIDE TO MAKE ANY CHANGES TO THESE PLANS WITHOUT CONSULTING THE DESIGNER, SUCH CHANGES, AS WELL AS ANY SUBSEQUENT EFFECTS SHALL BECOME THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR WHO MAKES OR AUTHORIZES THE CHANGES. THE DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR ANY COSTS OR TIME DELAYS WHICH ARE A RESULT OF SUCH CHANGES. IT IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO INSURE THAT ANY CHANGES MEET ALL APPLICABLE BUILDING CODES AND WILL RESULT IN SUCCESSFUL INSPECTIONS BY THE BUILDING OFFICIAL.

REMODELS/ADDITIONS:
MANY DETAILS, ALTHOUGH ACCURATE IN THEIR INTENT ARE LIKELY TO CHANGE WHEN DEMOLITION EXPOSES UNANTICIPATED FRAMING, IRREGULARITIES AND STRUCTURAL DETERIORATION OR EXISTING CONDITIONS WHICH CAN NOT BE DETERMINED WITH CERTAINTY PRIOR TO DEMOLITION. AS SUCH ELEMENTS OR IRREGULARITIES ARE EXPOSED, THE DESIGNER IS TO BE NOTIFIED AND MAY PROVIDE NEW DETAILS AND OTHER REVISIONS OR SUBSTITUTIONS IN ORDER TO UPHOLD THE GENERAL INTENT OF THESE PLANS, WHICH IS TO PROVIDE A BUILDING WHICH IS SAFE FOR ITS PROPOSED USE.

NEW RESIDENCE
PROPERTY ADDRESS:
301 MOSS TRL
GOODLETTSVILLE,
TENNESSEE 37072

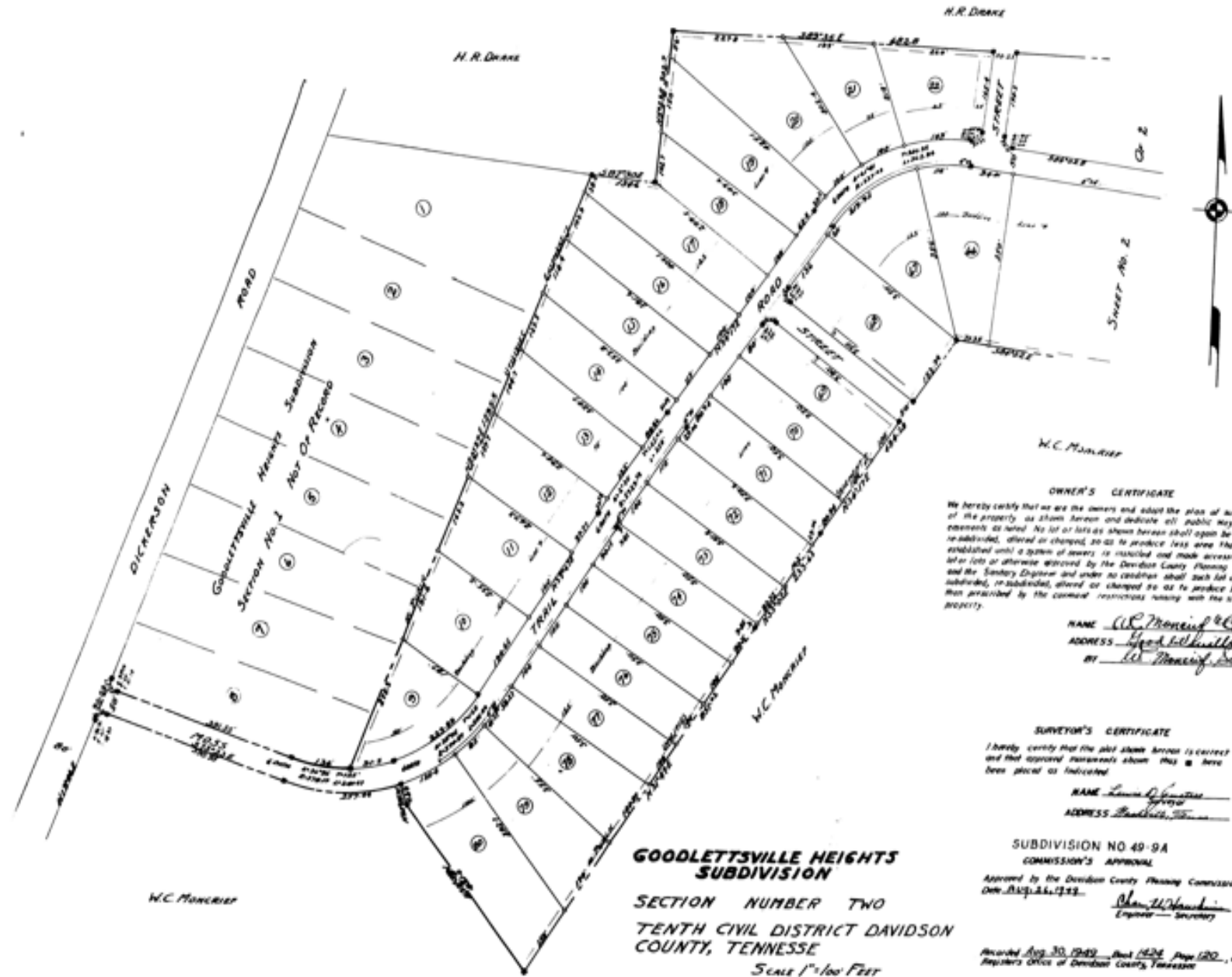
PROJECT SCOPE:
CONDITIONED AREA:
GARAGE AREA:

OWNER:
MARK ZYGUTIS
301 MOSS TRL
GOODLETTSVILLE,
TENNESSEE 37072

REVISION

SITE PLAN
VICINITY
DATA
GEN NOTES

A.I.I.



W.C. Moncrief

OWNER'S CERTIFICATE

We hereby certify that we are the owners and adopt the plan of subdivision of the property as shown hereon and dedicate all public ways and easements as shown. No lot or lots as shown hereon shall again be subdivided, re-subdivided, altered or changed, so as to produce less area than hereby established until a system of sewers is installed and made accessible to each lot or lots or otherwise approved by the Davidson County Planning Commission and the Sanitary Engineer and under no condition shall such lot or lots be subdivided, re-subdivided, altered or changed so as to produce less area than provided by the covenants, restrictions running with the title to the property.

NAME W.C. Moncrief & Co.
 ADDRESS Goodlettsville, Tenn.
 BY W.C. Moncrief, Sr.

SURVEYOR'S CERTIFICATE

I hereby certify that the plat shown hereon is correct and that approved instruments shown thereon have been placed as indicated.

NAME Samuel J. Hamilton
 ADDRESS Franklin, Tenn.

SUBDIVISION NO 49-9A

COMMISSION'S APPROVAL

Approved by the Davidson County Planning Commission

DATE AUG. 14, 1929.
Samuel J. Hamilton
 Engineer - Surveyor

Recorded Aug. 30, 1929 - Book 424, Page 182, of the Register's Office of Davidson County, Tennessee.

GOODLETTSVILLE HEIGHTS SUBDIVISION

SECTION NUMBER TWO
 TENTH CIVIL DISTRICT DAVIDSON
 COUNTY, TENNESSEE

Scale 1" = 100 Feet

W.C. MONCRIEF AND CO. DEVELOPERS

SHEET No. ONE OF TWO

W.C. Moncrief

Goodlettsville Heights Section 2- Recorded August 30, 1949

LOT#	ADDRESS	LOT/PROPERTY SIZE ACRES
9	206 Moss Trail	0.84
10	208 Moss Trail	0.96
11	210 Moss Trail	0.95
12	212 A Moss Trail	0.88
13	214 Moss Trail	0.99
14	216 Moss Trail	0.96
15	218 Moss Trail	0.99
16	220 Moss Trail	0.98
17	222 Moss Trail	0.99
18	300 Moss Trail	0.69
19	302 Moss Trail	1.01
20	304 Moss Trail	1.35
21	306 Moss Trail	0.76
22	308 Moss Trail	0.91
23	400 Moss Trail	0.91
24	404 Moss Trail	0.91
25	408 Moss Trail	0.91
26	410 Moss Trail	0.91
27	412 Moss Trail	0.91
28	416 Moss Trail	0.91
29	418 Moss Trail	0.91
30	420 Moss Trail	0.91
31	424 Moss Trail	0.85
32	432 Moss Trail	0.9
33	438 Moss Trail	0.91
34	440 Moss Trail	0.93
35	442 Moss Trail	0.93
36	444 Moss Trail	0.78
37	446 Moss Trail	0.78
38	448 Moss Trail	0.78
39	450 Moss Trail	0.88
43 (PT)	447 Moss Trail	0.52
43 A	445 Moss Trail	0.51
44	443 Moss Trail	0.84
45	441 Moss Trail	0.82
46	439 Moss Trail	0.8
47	437 Moss Trail	0.49
48	435 Moss Trail	0.48
49 (PT)	433 Moss Trail	0.61
50 (PT)	431 Moss Trail	0.68

51 (PT)	429 Moss Trail	0.73
52	427 Moss Trail	0.74
53	425 Moss Trail	0.84
54	423 Moss Trail	1.18
55	421 Moss Trail	0.9
56	419 Moss Trail	0.9
57	417 Moss Trail	0.91
58	415 Moss Trail	0.91
59	413 Moss Trail	0.91
60	411 Moss Trail	0.94
61	409 Moss Trail	0.92
62	407 Moss Trail	0.94
63	405 Moss Trail	0.91
64	403 Moss Trail	0.91
65	401 Moss Trail	0.92
66	305 Moss Trail	1.18
67	303 Moss Trail	0.99
68	301 Moss Trail	1.26
69	Moss Trail	0.82
70 /PT 71	219 Moss Trail	1.35
72/PT 71	217 Moss Trail	1.18
73/ PT 72	215 Moss Trail	0.96
74	213 Moss Trail	0.81
75	211 Moss Trail	0.83
76	209 Moss Trail	0.82
77	207 Moss Trail	0.81
78	205 Moss Trail	1.01
79	203 Moss Trail	1.08
80 PT	Moss Trail	0.76
	Average	0.89
	61.45 Acres/ 69 Lots	38,768 sq. ft.

Deed Divisions /No Subdivision Plat

N/A	348 Pleasant Green Rd	0.72
N/A	350 Pleasant Green Rd	0.68
N/A	352 Pleasant Green Rd	0.66
N/A	351 Pleasant Green Rd	0.7
N/A	349 Pleasant Green Rd	0.73
	Average	0.7

3.49 Acres/ 5 Lots

NOTES:

Lots 40, 41, 42 Previously Subdivided Into Commercial Lots

Lot 43 Portion Previously Subdivided Into Commercial Lot

Lots 49, 50, 51 Previously Altered Due to I-65 Widening ROW

Lot 68 Added to 0.92 Acre Property on Pleasant Green Road

Lots 70, 71, 72, 73 Altered Property Lines

Lot 80 Altered Property Lines Added Portion to 129 Garret Drive Lot 1- Goodlettsville Heights Section 3

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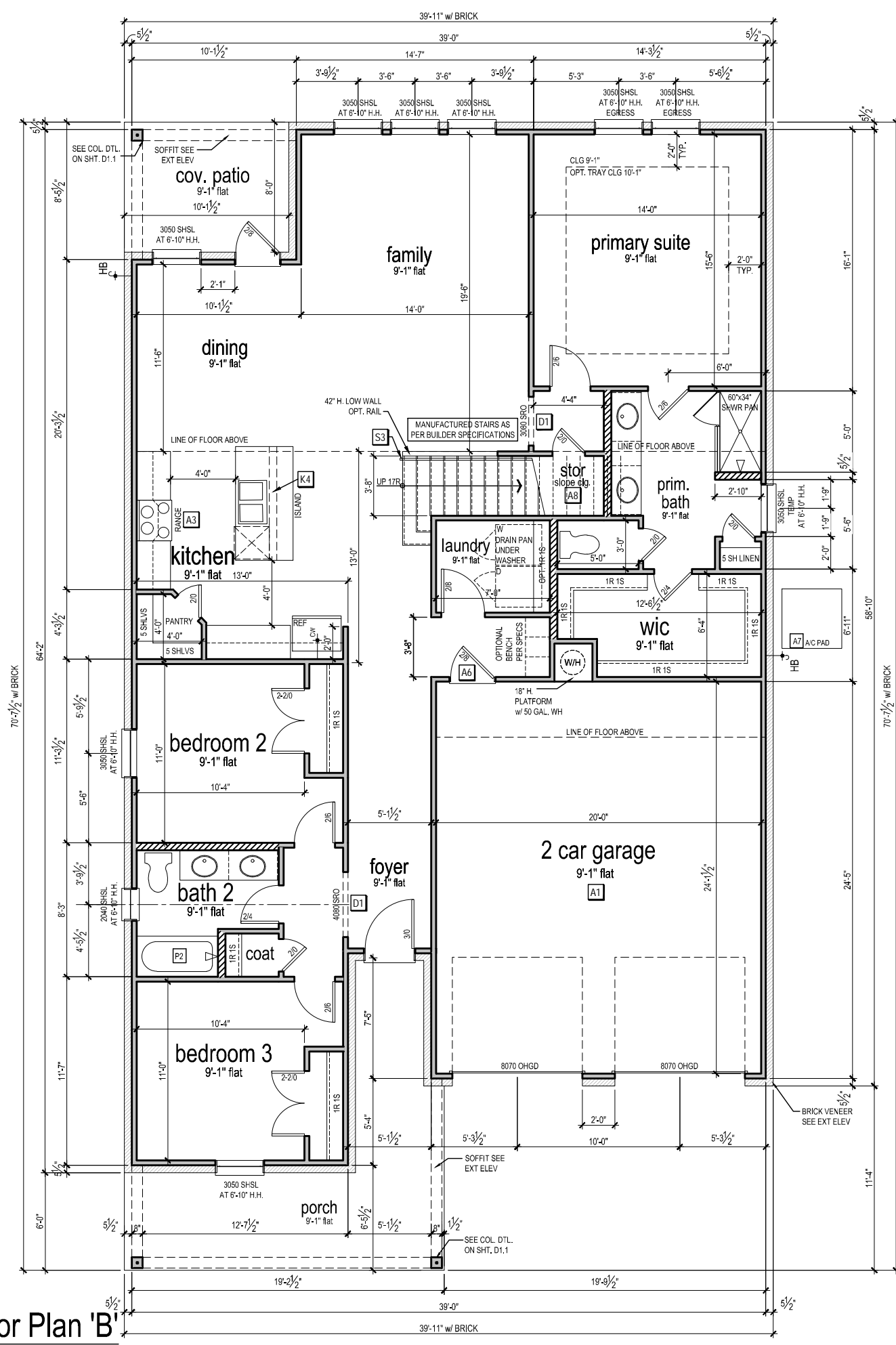
ELEVATION B AREA TABULATION		
AREA	FRAME	MASONRY
1ST FLOOR A/C	1724	1802
2ND FLOOR A/C	644	644
TOTAL LIVING A/C	2368	2446
GARAGE	503	528
ENTRY	198	180
COVERED PATIO	81	81
TOTAL NON LIVING	782	789
TOTAL UNDER ROOF	3150	3235
TOTAL SLAB AREA	2425	2510
MIN. OVERALL WIDTH	39'-0"	
MIN. OVERALL DEPTH	70'-7 1/2"	
MAX. OVERALL WIDTH	39'-11"	
MAX. OVERALL DEPTH	70'-7 1/2"	

- KEYNOTES**
- A1 GARAGE CEILING - 5/8" TYPE X DRYWALL, VERTICAL SURFACE WALLS - 1/2" DRYWALL
 - A2 22"x30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT - COORDINATE WITH TRUSSES
 - A3 30" RANGE W/ INTEGRAL HOOD/MICROWAVE ABOVE
 - A4 PULL DOWN STAIRS 25.5" x 54". COORDINATE WITH TRUSSES
 - A5 TEMPERED SAFETY GLASS PER R308.4
 - A6 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE APPROVED 20 MINUTE RATED SOLID CORE CLOSING, AND TIGHT FITTING DOOR PER R302.5.1
 - A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION. VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS
 - A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS
 - A9 LOUVERED DOOR W/ GAS FURNACE
 - A10 OPT. CABINET & SINK (PER PLAN)
 - A11 OPT. OVEN / MICRO OR DOUBLE OVEN: 30" COOKTOP I/O RANGE
 - D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE
 - K1 39" KNEE WALL WITH CAP PER SPECS
 - K2 38" KNEE WALL WITH 1x CAP
 - K3 46" KNEE WALL WITH CAP PER SPECS
 - K4 34 1/2" KNEE WALL
 - K5 42" KNEE WALL WITH 1x CAP
 - K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING
 - P1 34" X 60" SHOWER ENCLOSURE PER SPECS
 - P2 30" X 60" TUB PER SPECS
 - P3 18" HIGH SLOPED BENCH SEAT W/ TILE FINISH PER DETAIL SHEET
 - P4 42" X 60" SHOWER ENCLOSURE PER SPECS
 - P5 42" X 60" TUB PER SPECS
 - S1 BOX STAIR WITH 38" KNEE WALL & 1x CAP
 - S2 1x CAPPED STRINGER, TOP AT 3" ABOVE TREAD
 - S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

- GENERAL NOTES**
- DRYER MOISTURE EXHAUST DUCTS TO NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 35 FEET. DEDUCTIONS FOR BENDS SHALL BE TAKEN AT 5-FEET PER 90 AND 2.5- FEET PER 45.
 - INSTALLATION OF A FAN-ASSISTED DRYER VENT TO MAINTAIN CODE REQUIREMENTS WHERE REQUIRED.
 - NO FASTENERS SHALL PENETRATE INTO THE DRYER VENT DUCT.
 - DO NOT EXCEED 50 CFM PER 1000 SQUARE FEET FOR TOTAL DUCT LEAKAGE, MEASURED AT 50 PASCAL (.02 W.C.) OF POSITIVE PRESSURE, USING CALIBRATED DUCT BLASTER TEST EQUIPMENT.
 - ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED AND TESTED IN ACCORDANCE WITH THE MOST RESTRICTIVE OF LOCAL REGULATIONS, THE PROCEDURES DETAILED IN THE ASHRAE HANDBOOK OF FUNDAMENTALS, OR THE APPLICABLE STANDARDS ADOPTED TO THE SHEET METAL AND AIR CONDITIONING CONTRACTOR ASSOCIATION.
 - WASHERS LOCATED ABOVE FIRST FLOOR. PROVIDE CLOTHES WASHER PAN & PVC DRAIN LINE TO EXTERIOR.
 - ISOLATE/SEPARATE VERTICAL PIPING WITH PADDING, AND SECURE THE BRACING OVER THE PADDING, TO AVOID VIBRATION AND SOUND TRANSMISSION.
 - OMIT WATER-RESISTANT GYPSUM BOARD (GREEN BOARD) AS A MATERIAL FOR BACKING. USE OF THIS MATERIAL AS A BACKER AT TUBS AND SHOWERS SHALL BE AVOIDED.

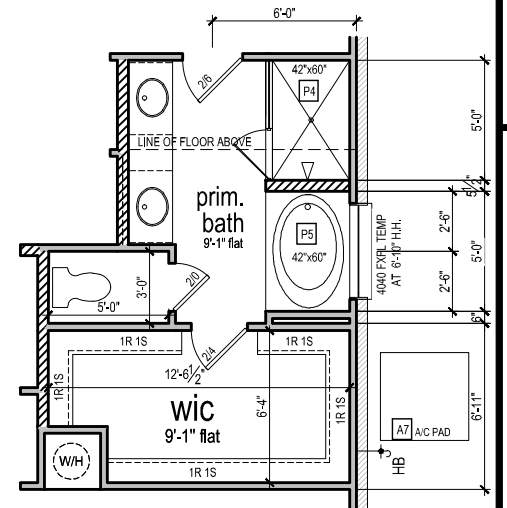
- EGRESS NOTE:**
- EACH BEDROOM, IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR, MUST HAVE ONE WINDOW WHICH COMPLIES WITH EGRESS CODES. THE WINDOW SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" A.F.F. OF ROOM SERVICED.

- NOTES & LEGENDS**
1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS
 2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.
 3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/ VERTICAL CRIPPLERS @ 1'-4" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.
 4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR
 5. STAIRS AS NOTED, UNLESS MANUFACTURED STAIRS ARE SPECIFIED BY BUILDER.



1st Floor Plan 'B'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



Deluxe Primary Bath

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

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CONCEPT 2368

Plan Name	Num	Date
Drawn By	SDS	
Checked By	RR	
Regional Plan Number	SXXX-XXXX-XX	
Plan No	SXXX	
Revision Date	X	
Sheet		

A2.0B

CONCEPT 2368.DWG
RR05AS

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ELEVATION B AREA TABULATION

AREA	FRAME	MASONRY
1ST FLOOR A/C	1288	1353
2ND FLOOR A/C	1446	1446
TOTAL LIVING A/C	2734	2799
GARAGE	508	529
ENTRY	154	143
COVERED PATIO	110	110
TOTAL NON LIVING	772	782
TOTAL UNDER ROOF	3506	3581
TOTAL SLAB AREA	1950	2025
MIN. OVERALL WIDTH	39'-0"	
MIN. OVERALL DEPTH	59'-7 1/2"	
MAX. OVERALL WIDTH	39'-11"	
MAX. OVERALL DEPTH	59'-7 1/2"	

KEYNOTES

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GENERAL NOTES

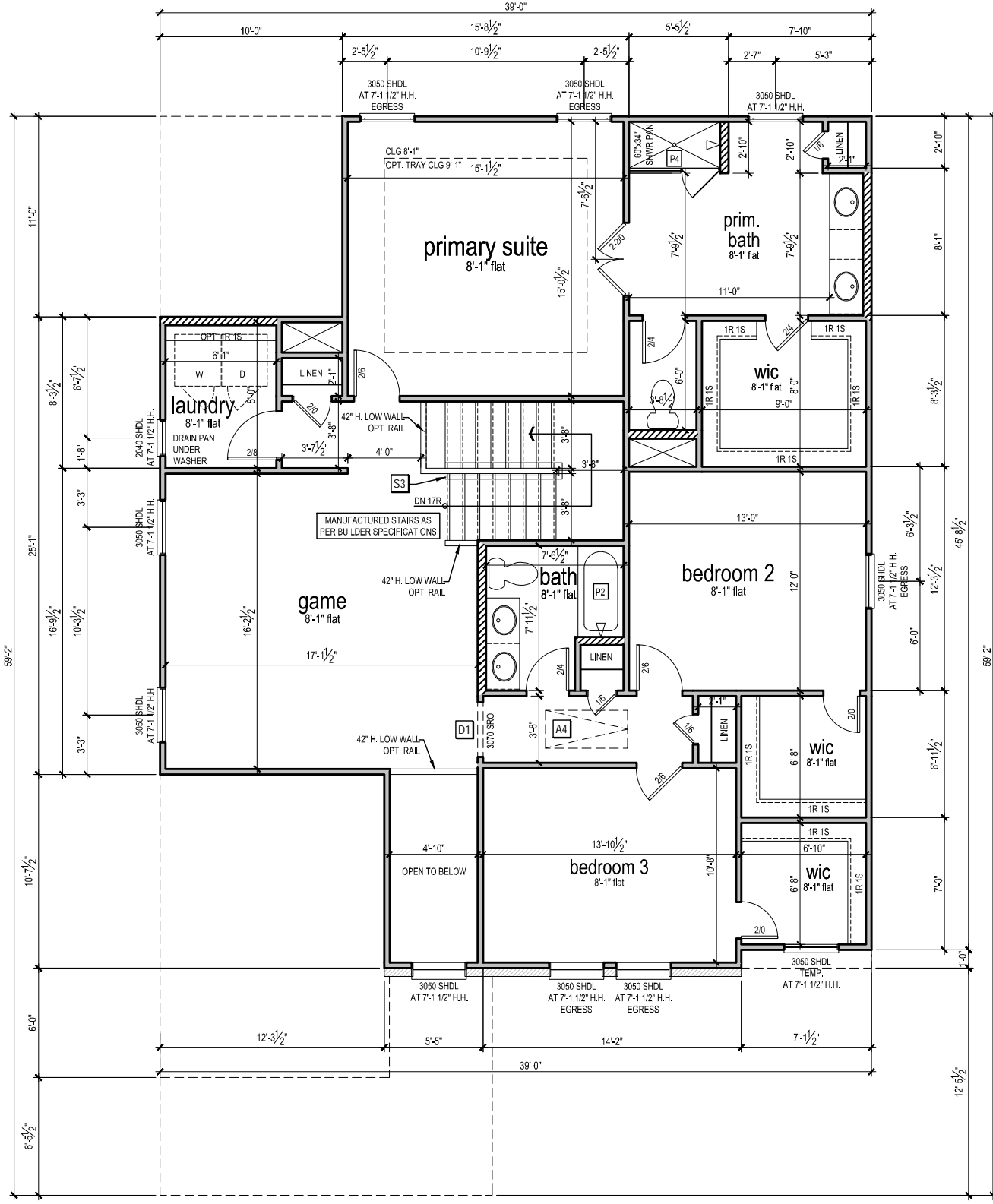
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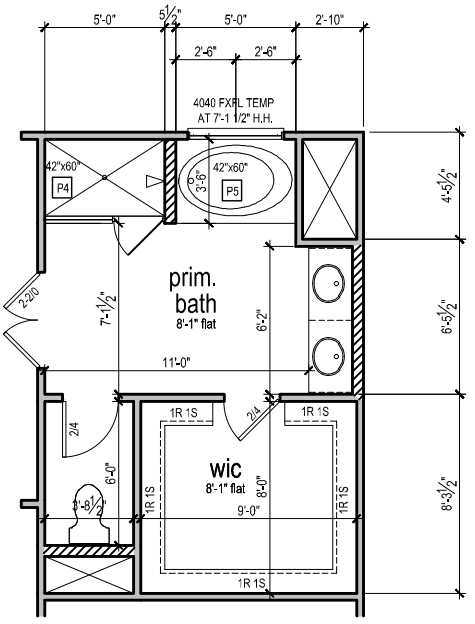
NOTES & LEGENDS

1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS
2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.
3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 1'-4" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.
4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR
5. STAIRS AS NOTED, UNLESS MANUFACTURED STAIRS ARE SPECIFIED BY BUILDER.



2nd Floor Plan 'B'

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT



Deluxe Primary Bath

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

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CONCEPT 2744

Plan Name

Num	Date

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 Checked By RR
 Regional Plan Number SXXX-XXXX-XX
 Plan No SXXX
 Revision Date X
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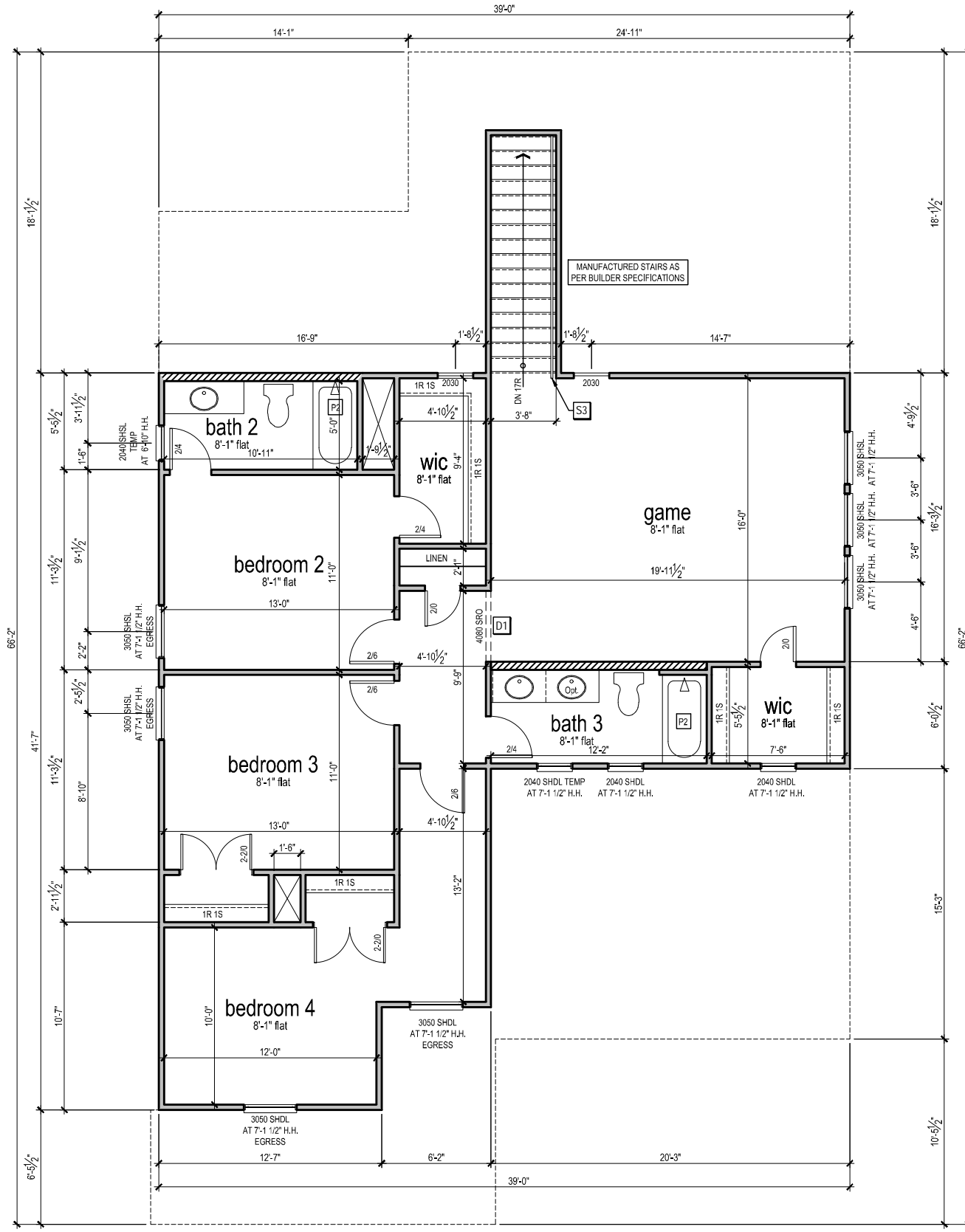
ELEVATION B AREA TABULATION		
AREA	FRAME	MASONRY
1ST FLOOR A/C	1598	1668
2ND FLOOR A/C	1196	1196
TOTAL LIVING A/C	2794	2864
GARAGE	498	520
ENTRY	148	138
COVERED PATIO	127	127
TOTAL NON LIVING	773	785
TOTAL UNDER ROOF	3567	3649
TOTAL SLAB AREA	2244	2326
MIN. OVERALL WIDTH	39'-0"	
MIN. OVERALL DEPTH	66'-7 1/2"	
MAX. OVERALL WIDTH	39'-11"	
MAX. OVERALL DEPTH	66'-7 1/2"	

- KEYNOTES**
- A1 GARAGE CEILING - 5/8" TYPE X DRYWALL, VERTICAL SURFACE WALLS - 1/2" DRYWALL
 - A2 22"x30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT - COORDINATE WITH TRUSSES
 - A3 30" RANGE W/ INTEGRAL HOOD/MICROWAVE ABOVE
 - A4 PULL DOWN STAIRS 25.5" x 54". COORDINATE WITH TRUSSES
 - A5 TEMPERED SAFETY GLASS PER R308.4
 - A6 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE APPROVED 20 MINUTE RATED SOLID CORE CLOSING, AND TIGHT FITTING DOOR PER R302.5.1
 - A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION. VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS
 - A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS
 - A9 LOUVERED DOOR w/ GAS FURNACE
 - A10 OPT. CABINET & SINK (PER PLAN)
 - A11 OPT. OVEN / MICRO OR DOUBLE OVEN; 30" COOKTOP ILO RANGE
 - D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE
 - K1 39" KNEE WALL WITH CAP PER SPECS
 - K2 38" KNEE WALL WITH 1x CAP
 - K3 46" KNEE WALL WITH CAP PER SPECS
 - K4 34 1/2" KNEE WALL
 - K5 42" KNEE WALL WITH 1x CAP
 - K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING
 - P1 34" X 60" SHOWER ENCLOSURE PER SPECS
 - P2 30"x60" TUB PER SPECS
 - P3 18" HIGH SLOPED BENCH SEAT W/ TILE FINISH PER DETAIL SHEET
 - P4 42" X 60" SHOWER ENCLOSURE PER SPECS
 - P5 42" X 60" TUB PER SPECS
 - S1 BOX STAIR WITH 38" KNEE WALL & 1x CAP
 - S2 1x CAPPED STRINGER, TOP AT 3" ABOVE TREAD
 - S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

- GENERAL NOTES**
- DRYER MOISTURE EXHAUST DUCTS TO NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 35 FEET. DEDUCTIONS FOR BENDS SHALL BE TAKEN AT 5-FEET PER 90 AND 2.5- FEET PER 45.
 - INSTALLATION OF A FAN-ASSISTED DRYER VENT TO MAINTAIN CODE REQUIREMENTS WHERE REQUIRED.
 - NO FASTENERS SHALL PENETRATE INTO THE DRYER VENT DUCT.
 - DO NOT EXCEED 50 CFM PER 1000 SQUARE FEET FOR TOTAL DUCT LEAKAGE, MEASURED AT 50 PASCAL (.02 W.C.) OF POSITIVE PRESSURE, USING CALIBRATED DUCT BLASTER TEST EQUIPMENT.
 - ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED AND TESTED IN ACCORDANCE WITH THE MOST RESTRICTIVE OF LOCAL REGULATIONS, THE PROCEDURES DETAILED IN THE ASHRAE HANDBOOK OF FUNDAMENTALS, OR THE APPLICABLE STANDARDS ADOPTED TO THE SHEET METAL AND AIR CONDITIONING CONTRACTOR ASSOCIATION.
 - WASHERS LOCATED ABOVE FIRST FLOOR, PROVIDE CLOTHES WASHER PAN & PVC DRAIN LINE TO EXTERIOR.
 - ISOLATE/SEPARATE VERTICAL PIPING WITH PADDING, AND SECURE THE BRACING OVER THE PADDING, TO AVOID VIBRATION AND SOUND TRANSMISSION.
 - OMIT WATER-RESISTANT GYPSUM BOARD (GREEN BOARD) AS A MATERIAL FOR BACKING. USE OF THIS MATERIAL AS A BACKER AT TUBS AND SHOWERS SHALL BE AVOIDED.

- EGRESS NOTE:**
- EACH BEDROOM, IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR, MUST HAVE ONE WINDOW WHICH COMPLIES WITH EGRESS CODES. THE WINDOW SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" A.F.F. OF ROOM SERVICED.

- NOTES & LEGENDS**
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 2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.
 3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 1'-4" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.
 4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR
 5. STAIRS AS NOTED, UNLESS MANUFACTURED STAIRS ARE SPECIFIED BY BUILDER.



2nd Floor Plan 'B'
SCALE: 1/4"=1'-0"

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CONCEPT 2794

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Checked By RR
Regional Plan Number SXXX-XXXXX-85
Plan No SXXX
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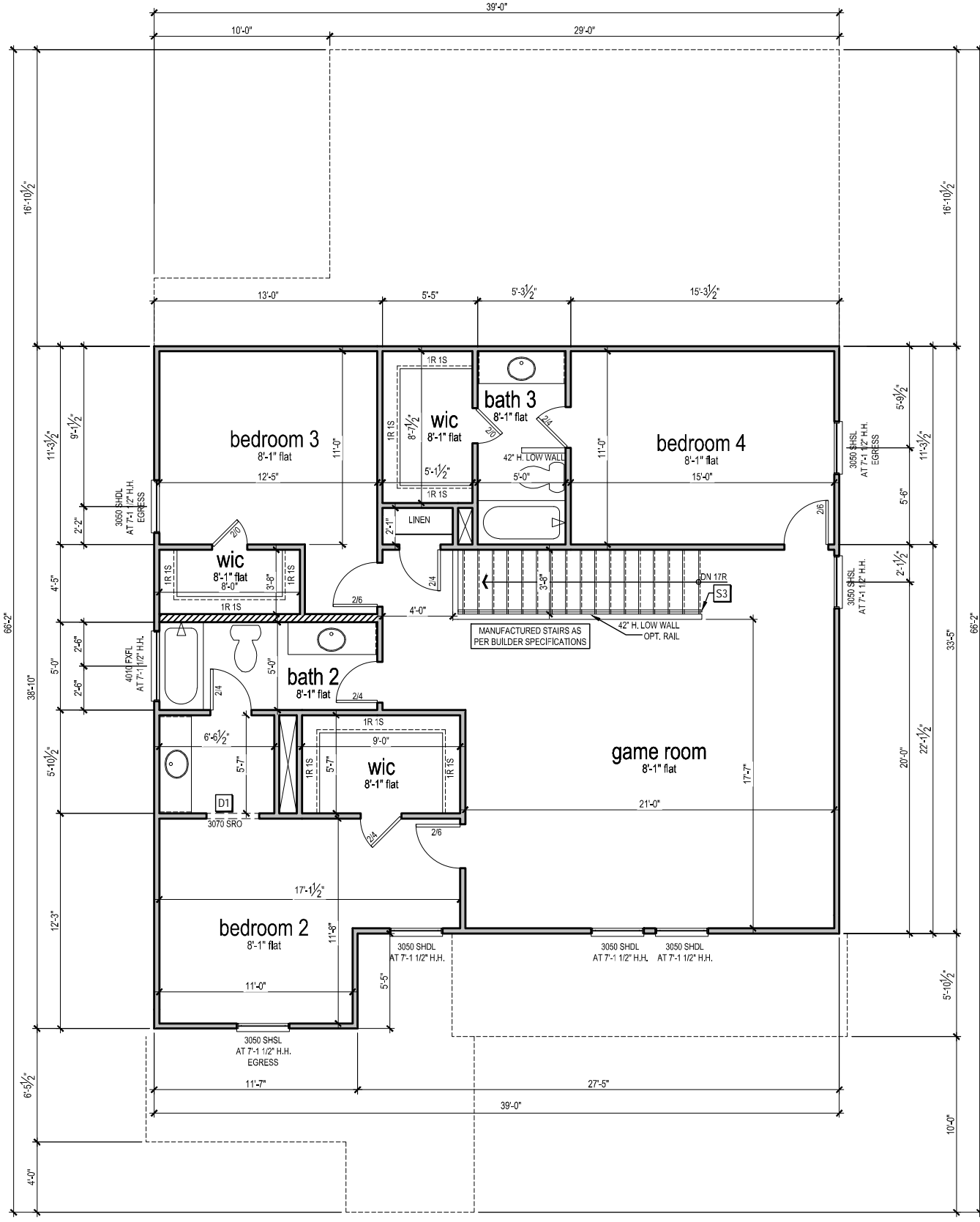
ELEVATION B AREA TABULATION		
AREA	FRAME	MASONRY
1ST FLOOR A/C	1519	1587
2ND FLOOR A/C	1315	1315
TOTAL LIVING A/C	2834	2902
GARAGE	504	529
ENTRY	1737	160
COVERED PATIO	130	130
TOTAL NON LIVING	2371	819
TOTAL UNDER ROOF	5205	3721
TOTAL SLAB AREA	3760	2276
MIN. OVERALL WIDTH	39'-0"	
MIN. OVERALL DEPTH	67'-1"	
MAX. OVERALL WIDTH	39'-11"	
MAX. OVERALL DEPTH	67'-1"	

- KEYNOTES**
- A1 GARAGE CEILING - 5/8" TYPE X DRYWALL, VERTICAL SURFACE WALLS - 1/2" DRYWALL
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 - A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION. VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS
 - A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS
 - A9 LOUVERED DOOR w/ GAS FURNACE
 - A10 OPT. CABINET & SINK (PER PLAN)
 - A11 OPT. OVEN / MICRO OR DOUBLE OVEN; 30" COOKTOP ILO RANGE
 - D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE
 - K1 39" KNEE WALL WITH CAP PER SPECS
 - K2 38" KNEE WALL WITH 1x CAP
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 - K5 42" KNEE WALL WITH 1x CAP
 - K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING
 - P1 34" X 60" SHOWER ENCLOSURE PER SPECS
 - P2 30"x60" TUB PER SPECS
 - P3 18" HIGH SLOPED BENCH SEAT W / TILE FINISH PER DETAIL SHEET
 - P4 42" X 60" SHOWER ENCLOSURE PER SPECS
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 - S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP
 - S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD
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- GENERAL NOTES**
- DRYER MOISTURE EXHAUST DUCTS TO NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 35 FEET. DEDUCTIONS FOR BENDS SHALL BE TAKEN AT 5-FEET PER 90 AND 2.5- FEET PER 45.
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2nd Floor Plan 'B'
SCALE: 1/4"=1'-0"

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CONCEPT 2834

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Checked By RR
Regional Plan Number SXXX-XXXX-85
Plan No SXXX
Revision Date X
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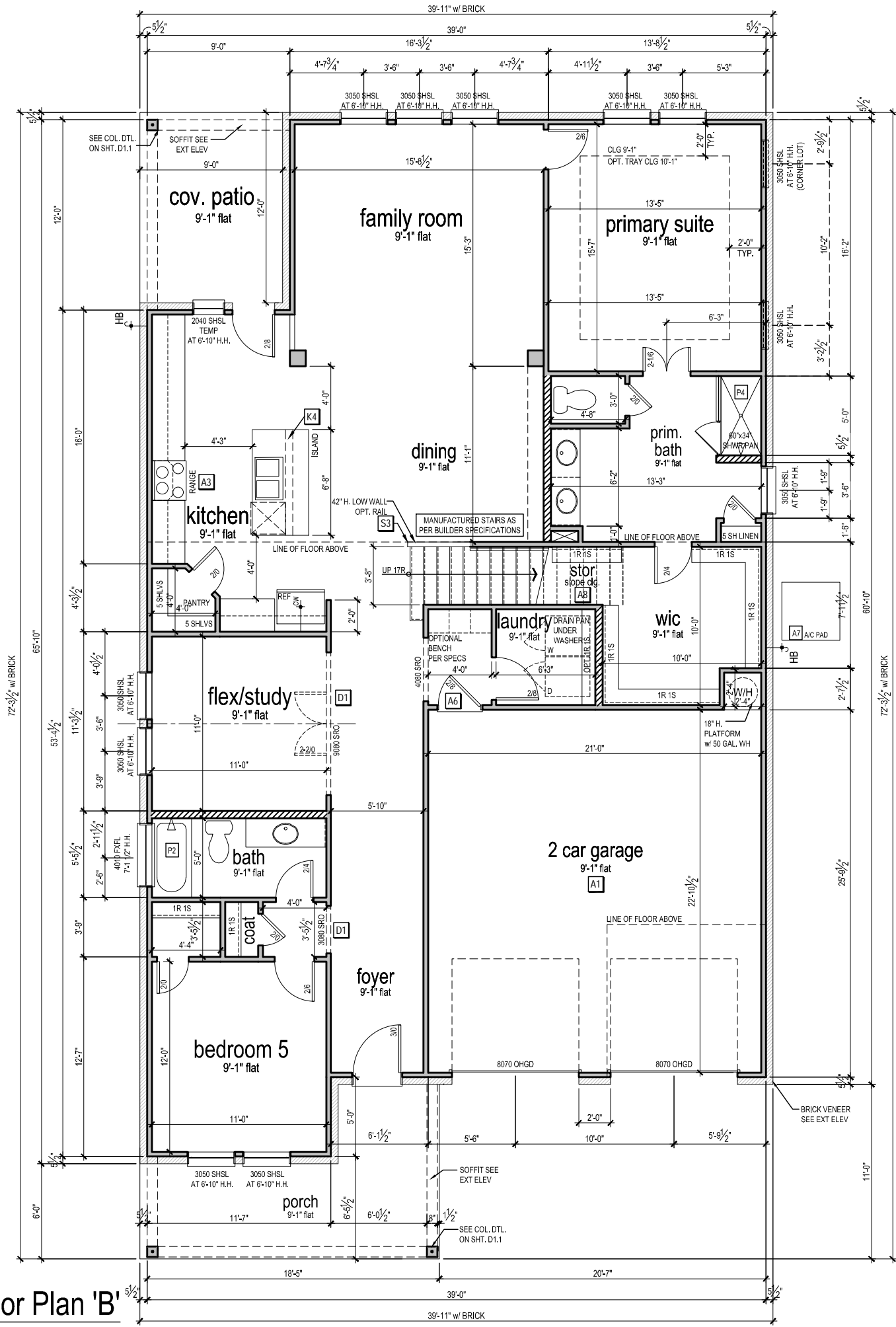
ELEVATION B AREA TABULATION		
AREA	FRAME	MASONRY
1ST FLOOR A/C	1805	1880
2ND FLOOR A/C	1226	1226
TOTAL LIVING A/C	3031	3106
GARAGE	499	521
ENTRY	156	145
COVERED PATIO	108	108
TOTAL NON LIVING	763	774
TOTAL UNDER ROOF	3794	3880
TOTAL SLAB AREA	2460	2546
MIN. OVERALL WIDTH	39'-0"	
MIN. OVERALL DEPTH	72'-3 1/2"	
MAX. OVERALL WIDTH	39'-11"	
MAX. OVERALL DEPTH	72'-3 1/2"	

- KEYNOTES**
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 - K5 42" KNEE WALL WITH 1x CAP
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 - P1 34" X 60" SHOWER ENCLOSURE PER SPECS
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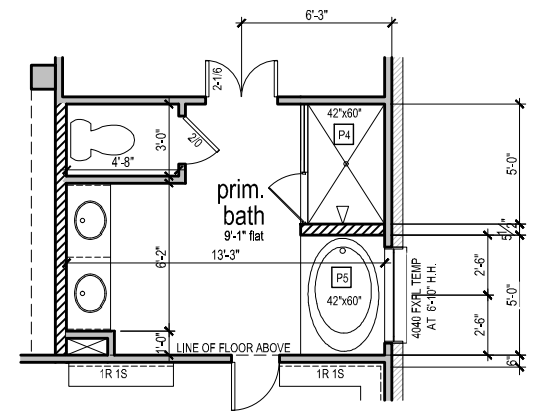
- GENERAL NOTES**
- DRYER MOISTURE EXHAUST DUCTS TO NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 35 FEET. DEDUCTIONS FOR BENDS SHALL BE TAKEN AT 5-FEET PER 90 AND 2.5-FEET PER 45.
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1st Floor Plan 'B'
SCALE: 1/4"=1'-0"



Deluxe Primary Bath
SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

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CONCEPT 3008

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Plan No SXXX
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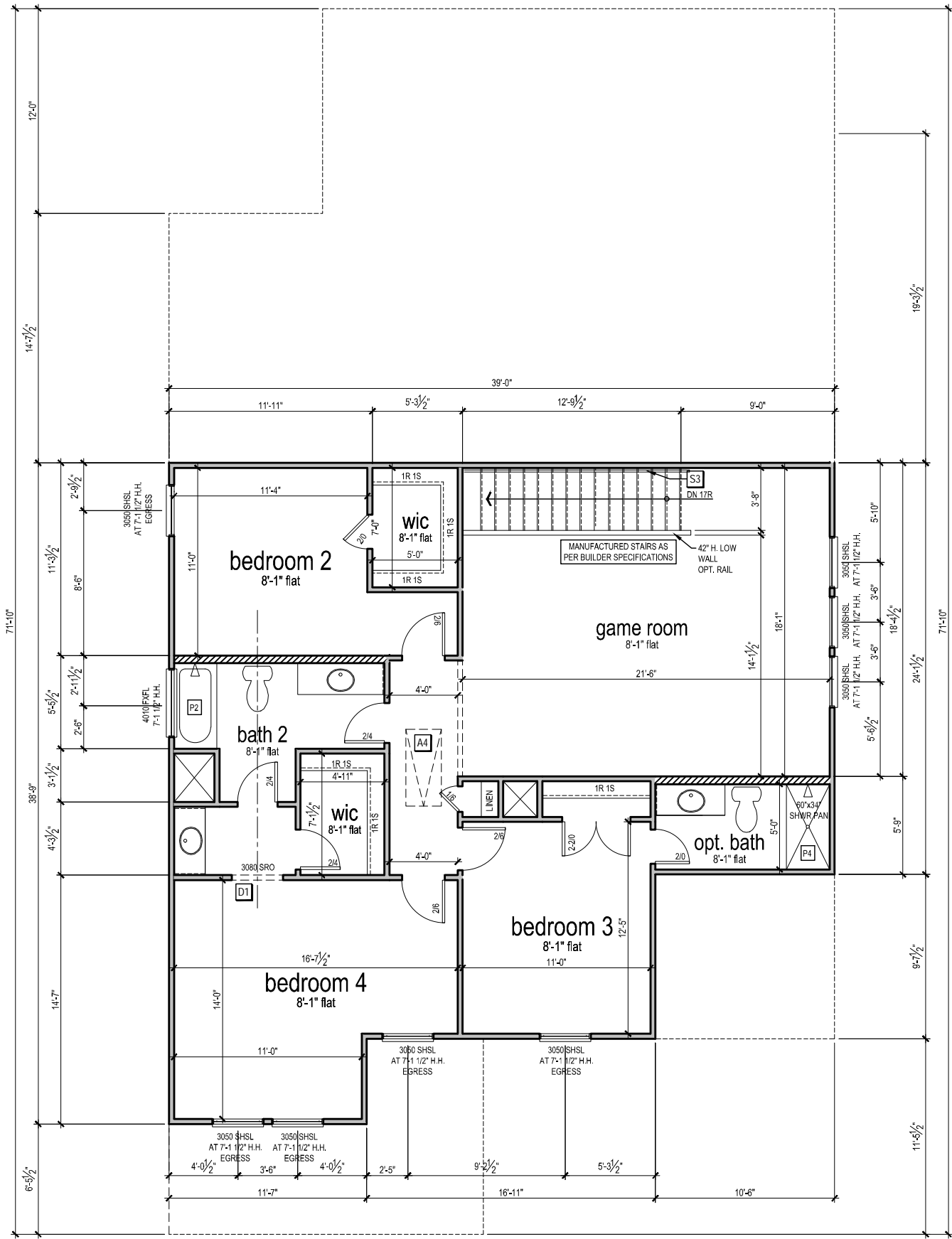
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- ### GENERAL NOTES
- DRYER MOISTURE EXHAUST DUCTS TO NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 35 FEET. DEDUCTIONS FOR BENDS SHALL BE TAKEN AT 5-FEET PER 90 AND 2.5- FEET PER 45.
 - INSTALLATION OF A FAN-ASSISTED DRYER VENT TO MAINTAIN CODE REQUIREMENTS WHERE REQUIRED.
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- ### NOTES & LEGENDS
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 3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/ VERTICAL CRIPPLERS @ 1'-4" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.
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 5. STAIRS AS NOTED, UNLESS MANUFACTURED STAIRS ARE SPECIFIED BY BUILDER.



2nd Floor Plan 'B'
SCALE: 1/4"=1'-0"

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CONCEPT 3008

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Drawn By SDS
Checked By RR
Regional Plan Number SXXX-XXXXX-85
Plan No SXXX
Revision Date X
Sheet

A3.0B

CONCEPT 3008.DWG
RR05AS

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ABBREVIATIONS

A.B.	ANCHOR BOLT
A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
APPROX	APPROXIMATELY
BLK	BLOCK
BM	BEAM
BOT	BOTTOM
BRG	BEARING
BTWN	BETWEEN
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
EL	ELEVATION
ELEC	ELECTRIC
EQ	EQUAL
EXT	EXTERIOR
FND	FOUNDATION
FF	FINISH FLOOR
FTG	FOOTING
HB	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
REF	REFRIGERATOR
RSL	RESILIENT FLOORING
SIM	SIMILAR
TYP	TYPICAL
VLT	VAULT
UNO	UNLESS NOTED OTHERWISE
WD	WOOD

PROJECT INFO:

ARCHITECT:
 DIEGO DURAN, ARCHITECT #107618
 SHARP DESIGN STUDIO, LLC
 (813) 408-8404
 DDURAN@SHARPDDESIGNSTUDIO.COM



KEY TO SYMBOLS

DETAIL # 1
SHEET # A5.1

DETAIL SECTION

0'-0"

ELEVATION HEIGHT

RUN 12
RISE 12

ROOF PITCH

+

HOSE BIB OR ICE MAKER LINE

(W/H)

STD. WATER HEATER

INDEX

ARCHITECTURAL

BSB COVER SHEET / PROJECT INDEX

A1.0B - A1.11B SLAB PLAN - MONOLITHIC, CRAWL SPACE, STEM WALL AND OPTIONS

A2.0B - A2.3B FLOOR PLAN - 1st FLOOR & OPTIONS

A3.0B FLOOR PLAN - 2nd FLOOR & OPTIONS

A4.0B - A4.0B3-1 ELEVATION 'B' - B3'- FRONT, RIGHT SIDE, LEFT SIDE, REAR

A4.1B - A4.1B3-1 ELEVATION 'B' - B3' GARAGE STORAGE

A4.2B - A4.2B3-1 ELEVATION 'B' - B3' 3rd BAY GARAGE - FRONT, RIGHT SIDE, LEFT SIDE, REAR

A4.3B - A4.3B3-1 ELEVATION 'B' - B3' 4' GARAGE EXT. - FRONT, RIGHT SIDE, LEFT SIDE, REAR

A4.4B - A4.4B3 REAR ELEV. / PARTIAL SIDES - 10'-0" PATIO & EXT. PATIO


A4.5B - A4.5B3 REAR ELEV. / PARTIAL SIDES - 10'-0" DECK & EXT. DECK

A5.0B - A5.4B ROOF PLANS - BASE & OPTIONS

A6.0B BUILDING SECTION 1, BUILDING SECTION 2

E1.0B - E2.0B ELECTRICAL FLOOR PLANS AND OPTIONS

D1.0B - D1.2B DETAIL SHEETS



MI HOMES
 PLAN: SXXX
 X
 LOT X of BLOCK X
 X
 X, NASHVILLE

REGION NO.: SXXX-XXXX-XX

ELEVATION B AREA TABULATION

AREA	FRAME	MASONRY
1ST FLOOR A/C	1476	1544
2ND FLOOR A/C	1832	1832
TOTAL LIVING A/C	3308	3376
GARAGE	503	524
ENTRY	136	136
COVERED PATIO	131	131
TOTAL NON LIVING	770	791
TOTAL UNDER ROOF	4078	4167
TOTAL SLAB AREA	2115	2204
MIN. OVERALL WIDTH	39'-0"	
MIN. OVERALL DEPTH	63'-11 1/2"	
MAX. OVERALL WIDTH	39'-11"	
MAX. OVERALL DEPTH	63'-11 1/2"	

ADDRESS SPECIFIC OPTIONS			
ADDRESS SPECIFIC STRUCTURAL OPTIONS		ADDRESS SPECIFIC NON-STRUCTURAL OPTIONS	
<input type="checkbox"/> GARAGE STORAGE	<input type="checkbox"/> X	<input type="checkbox"/> OPT. SINK - PRIMARY BATH	<input type="checkbox"/> X
<input type="checkbox"/> 3RD BAY GARAGE	<input type="checkbox"/> X	<input type="checkbox"/> OPT. SINK - BATH 2	<input type="checkbox"/> X
<input type="checkbox"/> 4'-0" GARAGE EXTENSION	<input type="checkbox"/> X	<input type="checkbox"/> X	<input type="checkbox"/> X
<input type="checkbox"/> COVERED PATIO	<input type="checkbox"/> X	<input type="checkbox"/> X	<input type="checkbox"/> X
<input type="checkbox"/> COVERED EXT. PATIO	<input type="checkbox"/> X	<input type="checkbox"/> X	<input type="checkbox"/> X
<input type="checkbox"/> COVERED DECK	<input type="checkbox"/> X	<input type="checkbox"/> X	<input type="checkbox"/> X
<input type="checkbox"/> COVERED EXT. DECK	<input type="checkbox"/> X	<input type="checkbox"/> X	<input type="checkbox"/> X
<input type="checkbox"/> DELUXE MASTER BATH	<input type="checkbox"/> X	<input type="checkbox"/> X	<input type="checkbox"/> X
<input type="checkbox"/> BATH 5 / BATH 3 I/O FLEX	<input type="checkbox"/> X	<input type="checkbox"/> X	<input type="checkbox"/> X
<input type="checkbox"/> STUDY I/O FLEX	<input type="checkbox"/> X	<input type="checkbox"/> X	<input type="checkbox"/> X

REVISION INDEX			
NO.	DESCRIPTION	DATE	BY
01	NEW PLAN	10-03-2025	SDS
02	X	X	X
03	X	X	X
04	X	X	X
05	X	X	X
06	X	X	X
07	X	X	X
08	X	X	X
09	X	X	X
10	X	X	X
11	X	X	X
12	X	X	X
13	X	X	X
14	X	X	X

BUILDING CODE COMPLIANCE

NOTE: ALL BUILDING CODES IN COMPLIANCE WITH I.R.C. 2018

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES: FOLLOW ALL APPLICABLE STATE AND LOCAL CODES AS ADOPTED.

PRODUCT: SINGLE FAMILY RESIDENCE

METRO GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, TENNESSEE SUPPLEMENTS AND AMENDMENTS (2022 EDITION, SUPPLEMENT 38)

INTERNATIONAL RESIDENTIAL CODE (BUILDING) (2018 EDITION)

INTERNATIONAL FIRE PREVENTION CODE (2012 EDITION) AS AMENDED PER METROPOLITAN FIRE PREVENTION CODE

INTERNATIONAL PLUMBING CODE (BUILDING) (2012 EDITION)

INTERNATIONAL MECHANICAL CODE (BUILDING) (2012 EDITION)

INTERNATIONAL FUEL GAS CODE (BUILDING) (2012 EDITION)

INTERNATIONAL ENERGY CONSERVATION CODE (BUILDING) (2018 EDITION)

NATIONAL ELECTRICAL CODE (2017 EDITION)

STAIR NOTES:

8'-1" STAIR NOTE:
 (USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR)

14 TREADS AT 10" PER IRC SECTION 311.7
 15 RISERS AT = 111 7/8" - VERIFY ON SITE
 RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4". TREAD DEPTH SHALL BE NOT LESS THAN 10"

9'-1" STAIR NOTE:
 USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR

15 TREADS AT 10" PER IRC SECTION 311.7
 16 RISERS AT = 123 7/8" - VERIFY ON SITE
 RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4". TREAD DEPTH SHALL BE NOT LESS THAN 10"

10'-1" STAIR NOTE:
 14" TJI WITH 3/4" PLYWOOD SUBFLOOR

17 TREADS AT 10" PER IRC SECTION 311.7
 18 RISERS = 135 7/8" VERIFY ON SITE
 RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4". TREAD DEPTH SHALL BE NOT LESS THAN 10"

NOTES:

EXTERIOR WALLS ZONE 3: R-13 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION: R-38 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION: R-30 BATTS MINIMUM. VERIFY


FLOOR OVER GARAGE: R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL: R-19 BATTS MINIMUM. VERIFY

WINDOW GLAZING "U" FACTOR: 0.33

PER STATE RESIDENTIAL CODE COMPLIANCE METHOD TO BE DETERMINED BY BUILDER.

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Checked By RR

Regional Plan Number SXXX-XXXX-XX

Plan No SXXX

Revision Date 10-03-2025

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CSB

CONCEPT 3283

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KEYNOTES

- A1 GARAGE CEILING - 5/8" TYPE X DRYWALL, VERTICAL SURFACE WALLS - 1/2" DRYWALL
- A2 22"x30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT - COORDINATE WITH TRUSSES
- A3 30" RANGE W/ INTEGRAL HOOD/MICROWAVE ABOVE
- A4 PULL DOWN STAIRS 25.5" x 54". COORDINATE WITH TRUSSES
- A5 TEMPERED SAFETY GLASS PER R308.4
- A6 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE APPROVED 20 MINUTE RATED SOLID CORE CLOSING, AND TIGHT FITTING DOOR PER R302.5.1
- A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION. VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS
- A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS
- A9 LOUVERED DOOR w/ GAS FURNACE
- A10 OPT. CABINET & SINK (PER PLAN)
- A11 OPT. OVEN / MICRO OR DOUBLE OVEN; 30" COOKTOP ILO RANGE
- D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE
- K1 39" KNEE WALL WITH CAP PER SPECS
- K2 38" KNEE WALL WITH 1x CAP
- K3 46" KNEE WALL WITH CAP PER SPECS
- K4 34 1/2" KNEE WALL
- K5 42" KNEE WALL WITH 1x CAP
- K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING
- P1 34" X 60" SHOWER ENCLOSURE PER SPECS
- P2 30"x60" TUB PER SPECS
- P3 18" HIGH SLOPED BENCH SEAT W/ TILE FINISH PER DETAIL SHEET
- P4 42" X 60" SHOWER ENCLOSURE PER SPECS
- P5 42" X 60" TUB PER SPECS
- S1 BOX STAIR WITH 38" KNEE WALL & 1x CAP
- S2 1x CAPPED STRINGER, TOP AT 3" ABOVE TREAD
- S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

GENERAL NOTES

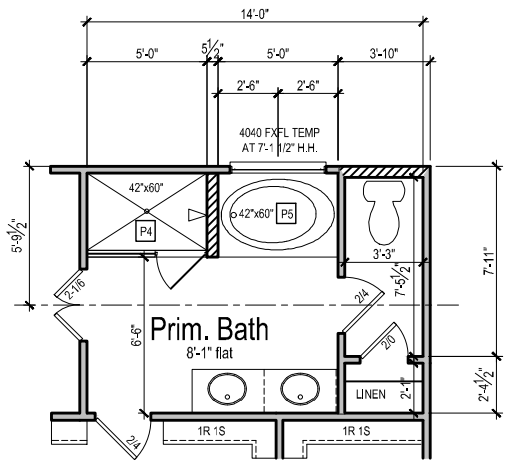
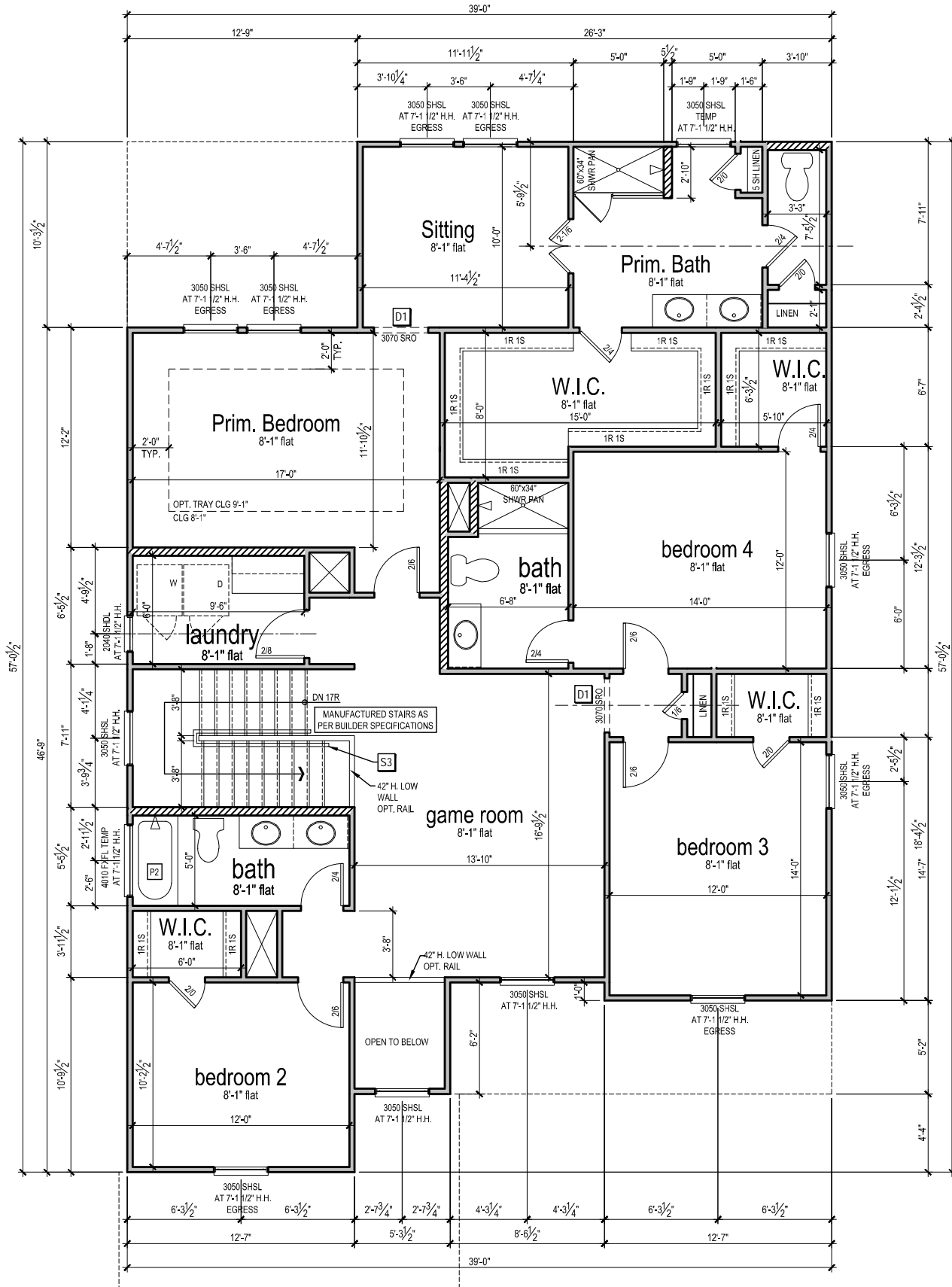
- DRYER MOISTURE EXHAUST DUCTS TO NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 35 FEET. DEDUCTIONS FOR BENDS SHALL BE TAKEN AT 5-FEET PER 90 AND 2.5- FEET PER 45.
- INSTALLATION OF A FAN-ASSISTED DRYER VENT TO MAINTAIN CODE REQUIREMENTS WHERE REQUIRED.
- NO FASTENERS SHALL PENETRATE INTO THE DRYER VENT DUCT.
- DO NOT EXCEED 50 CFM PER 1000 SQUARE FEET FOR TOTAL DUCT LEAKAGE, MEASURED AT 50 PASCAL (.02 W.C.) OF POSITIVE PRESSURE, USING CALIBRATED DUCT BLASTER TEST EQUIPMENT.
- ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED AND TESTED IN ACCORDANCE WITH THE MOST RESTRICTIVE OF LOCAL REGULATIONS, THE PROCEDURES DETAILED IN THE ASHRAE HANDBOOK OF FUNDAMENTALS, OR THE APPLICABLE STANDARDS ADOPTED TO THE SHEET METAL AND AIR CONDITIONING CONTRACTOR ASSOCIATION.
- WASHERS LOCATED ABOVE FIRST FLOOR, PROVIDE CLOTHES WASHER PAN & PVC DRAIN LINE TO EXTERIOR.
- ISOLATE/SEPARATE VERTICAL PIPING WITH PADDING, AND SECURE THE BRACING OVER THE PADDING, TO AVOID VIBRATION AND SOUND TRANSMISSION.
- OMIT WATER-RESISTANT GYPSUM BOARD (GREEN BOARD) AS A MATERIAL FOR BACKING. USE OF THIS MATERIAL AS A BACKER AT TUBS AND SHOWERS SHALL BE AVOIDED.

EGRESS NOTE:

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Deluxe Primary Bath

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

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CONCEPT 3283

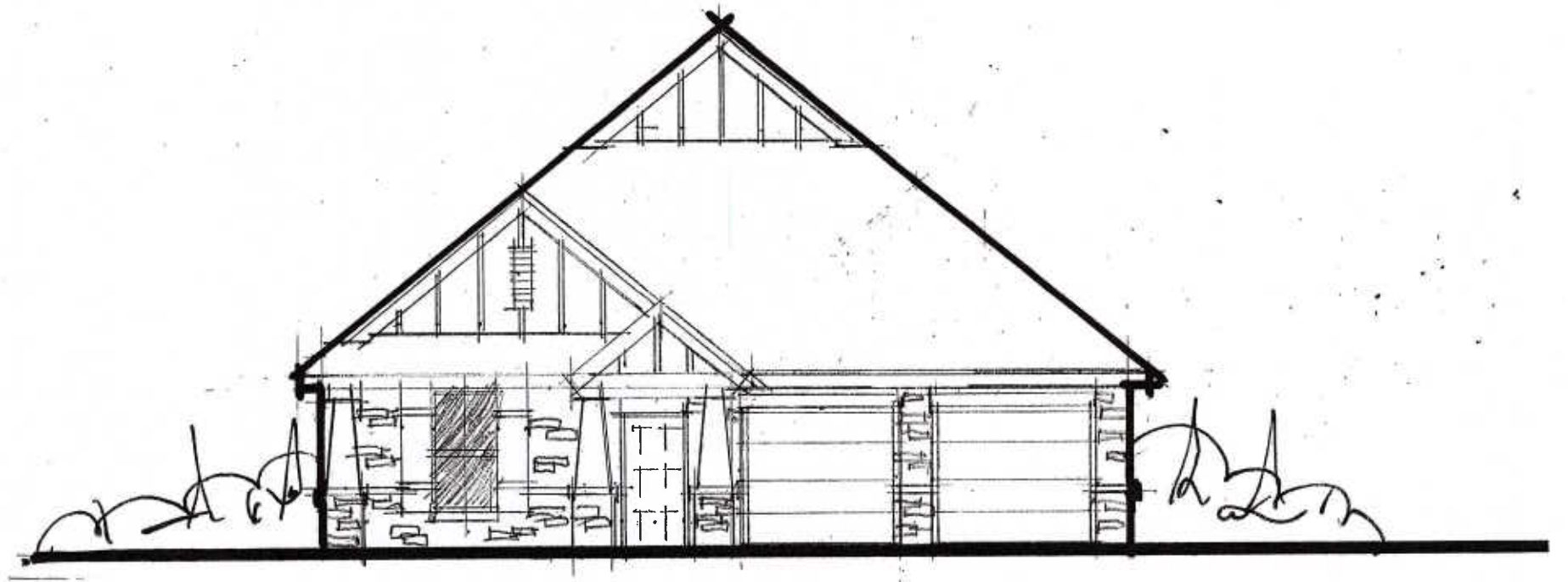
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Regional Plan Number	SXXX-XXXX-XX
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A3.0B

2nd Floor Plan 'B'

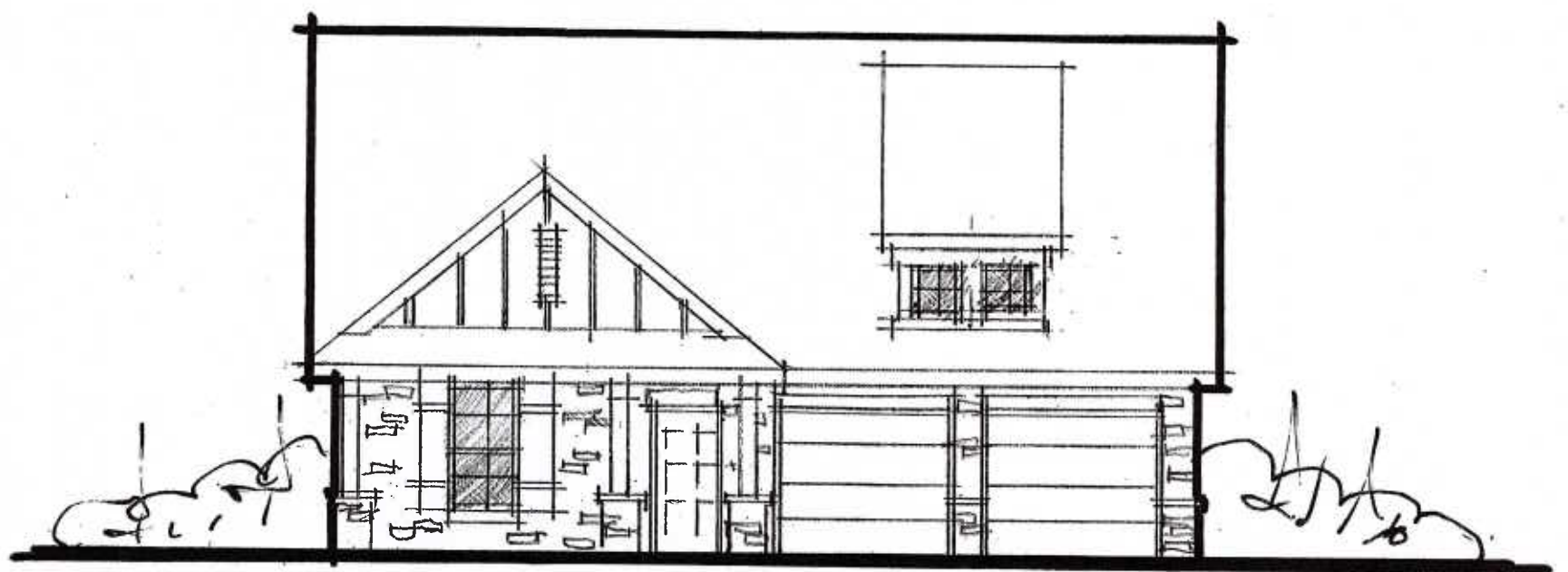
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2368 A



2368 B

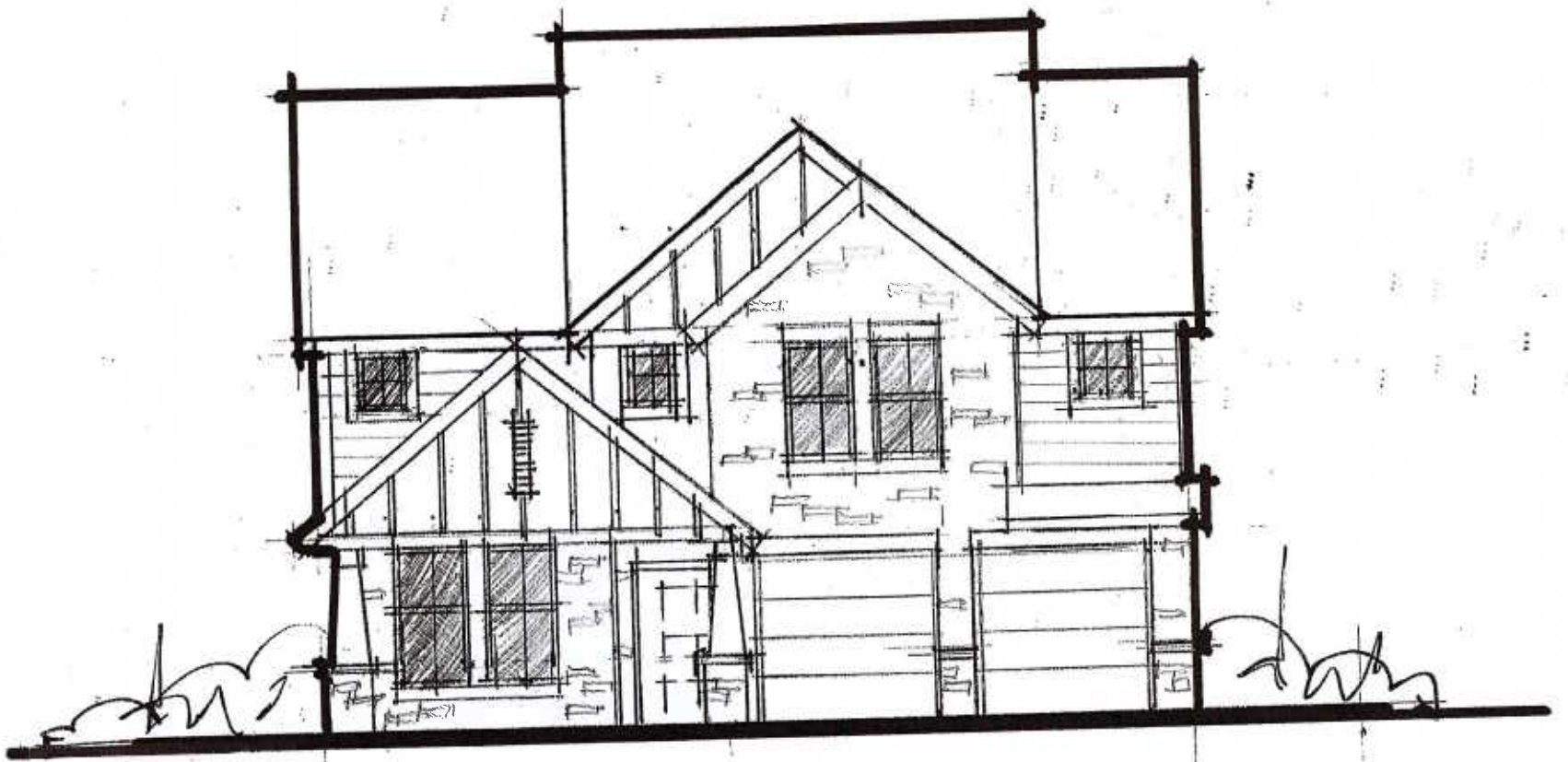


2368 C



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2744 A



2744 B



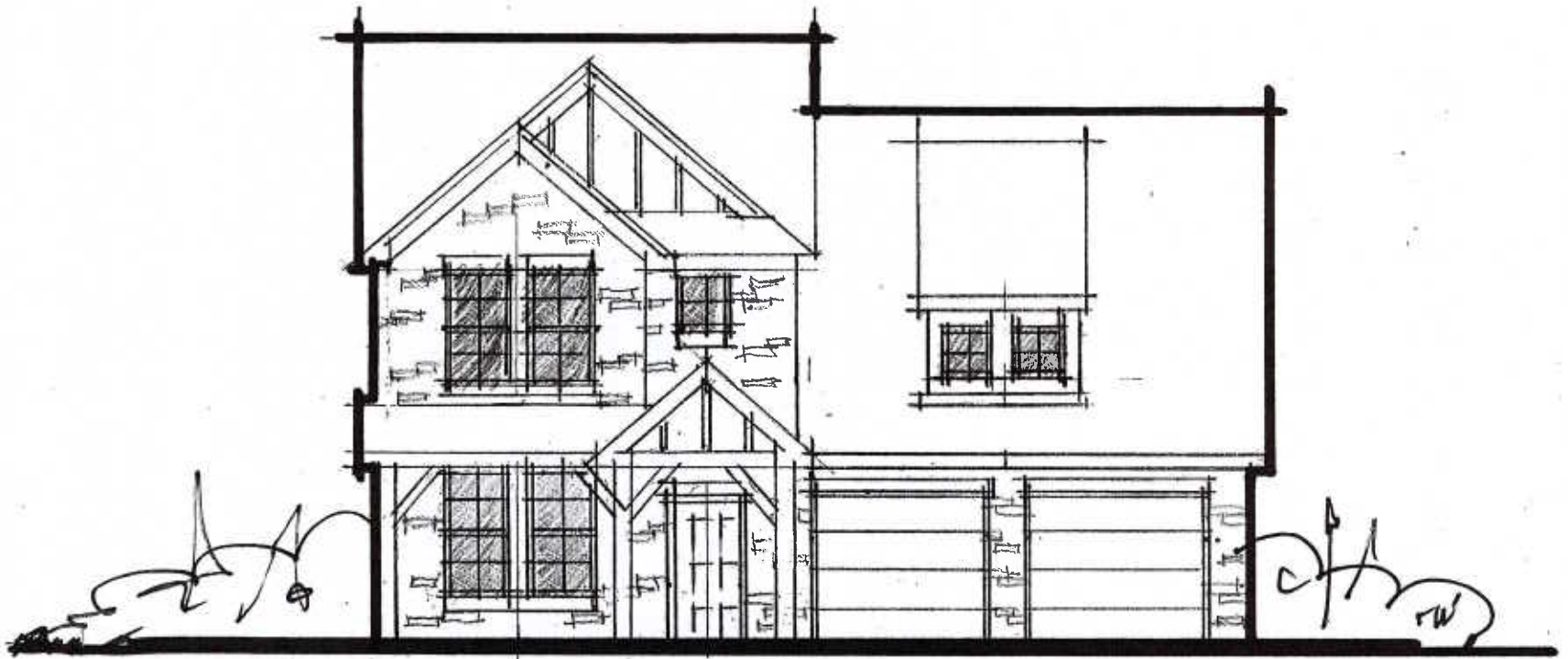
2744 C



MI HOMES



2794 A



2794 B



2794 C





2834 A



2834 B



2834 C



3008 A



3008 B



3008 C



3283 A



3283 B



3283 C