



March 2, 2026

Planning Commission
5:00 PM

City Hall - Massie Chambers

Agenda:

Call to Order

Approval of Agenda

1. Approval of March 2, 2026 Agenda

Approval of Meeting Minutes

2. Approval of February 2, 2026 Meeting Minutes

Individual Review of Regular Agenda Items

3. Public Forum on Planning Related Topics
4. Cedar Side at Dry Creek Phase One/ Natelli Communities: Requests reduction and one-year extension of the project performance bond
5. Springfield Highway/Hwy 41/Pape-Dawson Company: Requests recommendation to the City Commission to rezone the 7.4-acre property on Springfield Highway/Hwy 41 referenced as Sumner County Tax Map/Parcel# 14100801000 from CPUDL, Commercial Planned Unit Development Limited to CG, Commercial General. Property Owner: Wesley Greene
6. Rose Hill Park/ Nashville Civil LLC: Requests preliminary subdivision plat and construction plan approval for three (3) residential lots and roadway cul-de-sac construction on 2.87 acres at the end of Rosehill Drive and one residential lot at the end of Harris Drive. Property referenced as Davidson County Tax Map/Parcel# 02508004600 and is zoned R-10, Medium Density Residential. Property Owners: Rosehill Park, LLC (6-24) *Deferred at February 2nd Meeting*
7. Goodlettsville City Commission requests the Planning Commission to review and provide a recommendation for six (6) vacant properties with existing HDRPUD, High Density Residential Planned Unit Development zoning including a possible property zoning change.
Property#1 6.69 Acres- 0 Alta Loma along east side of I-65 south of Rivergate

Parkway: Property Owners: Brittney and Richard Fisher- Davidson County Tax Map/Parcel# 03401008200

Property#2 5.92 Acres- O West Monticello Ave. Property Owner: Dr. D.N Singh. Davidson County Tax Map/Parcel# 03409002400

Property#3 5.9 -Acres- O Dry Creek Road. Property Owner: Warren B Properties, LLC. Davidson County Tax Map/Parcel# 03300020600

Property#4 Dry Creek Road – 2.54 Acres. Property Owners: Sam Tinnin and James Simpson. Davidson County Tax Map/Parcel# 03300020400

Property#5 31.05 Acres- 188 Dry Creek Road. Property Owners: Donovan and Edna Grant. Davidson County Tax Map/Parcel# 03300002100

Property#6 1211 S. Dickerson Road Rear Portion of 6.9 Acres. Property Owners: Goodlettsville Partners, LLC. Davidson County Tax Map/Parcel# 03300003400

DISCUSSION ITEM:

8. -Draft Zoning Ordinance Amendment- Fence Regulations

For more information regarding this agenda, please contact the city recorder by email at:

amccormick@goodlettsville.gov

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**CITY OF GOODLETTSVILLE
MUNICIPAL PLANNING COMMISSION
AGENDA STAFF REPORT**

MONDAY MARCH 2, 2026 5:00 PM

ITEM#1 Approval of March 2, 2026 Agenda

STAFF NOTES: N/A

MOTION OPTIONS:

1. Approve as listed
2. Approve with agenda amendments as determined by the Planning Commission

ITEM#2 Approval of February 2, 2026 Meeting Minutes

STAFF NOTES: N/A

MOTIONS OPTIONS:

1. Approve as listed
2. Approve with minute amendments as determined by the Planning Commission

ITEM#3 Public Forum on Planning Related Topics

STAFF NOTES: N/A

ITEM#4 Cedar Side at Dry Creek Phase One/ Natelli Communities: Requests reduction and one-year extension of the project performance bond

STAFF NOTES:

The developer has requested a bond reduction from \$ 285,000 to \$ 238,000 due to the site development improvements completed.

Project Status: Five (5) of the fifty-five (55) lots are under construction

Subdivision Plat Recording Date: March 26, 2025

Current Project Bond: \$ 285,000 performance bond- March 13, 2026 Expiration

Remaining Project Improvements:

-Final asphalt paving

-Site finish grading/stabilization

- Site Landscaping
- Sidewalk sections

Improvement Cost Estimate: \$225,000 based on original cost estimates with inflation percentages added

MOTION OPTIONS:

1. Approval of a one-year bond extension at the current bond amount of \$ 285,600
2. Approval of a one-year bond extension per the developer requested bond amount of \$ 238,000
3. Approval of a one-year bond extension at amount determined by Planning Commission based on information provided during meeting

Staff recommendation to be provided at meeting

ITEM#5 Springfield Highway/Hwy 41/Pape-Dawson Company: Requests recommendation to the City Commission to rezone the 7.4-acre property on Springfield Highway/Hwy 41 referenced as Sumner County Tax Map/Parcel# 14100801000 from CPUDL, Commercial Planned Unit Development Limited to CG, Commercial General. Property Owner: Wesley Greene

STAFF NOTES:

The request is to rezone the 7.4-acre property from CPUD, Commercial Planned Unit Development and CPUDL, Commercial Planned Unit Development Limited to CG, Commercial General to permit the proposed use of the property as an office and warehouse use including the preliminary layout plan included in the meeting packet. The rezoning request would permit all the permitted uses in the CG, Commercial General zoning district. The current commercial planned unit development zoning districts are not connected to a preliminary master plan.

Adjacent Property Zoning Districts (Existing Uses)

- CPUD, Commercial Planned Unit Development (Vacant Property and Residential Homes)
- A, Agricultural (Residential Homes)
- CG, Commercial General (Landscaping and Stone Mason Contractors)
- IR, Industrial Restrictive (Metro Nashville Zoning District- Mansker Industrial Park)

Comprehensive Land Use Plan Designation: Commercial Corridor: General Commercial on Springfield Highway (north of Louisville Hwy overpass) and sections of Louisville Highway

Goodlettsville Zoning Map Section



Surrounding Zoning Districts

Light Green- A, Agricultural

Light Blue- CPUD, Commercial Planned Unit Development

Light Green/Brown- CPUDL, Commercial Planned Unit Development Limited

Light Orange- CG, Commercial General

Pink- Industrial- IG, Industrial General

Not Designated- IR, Industrial Restricted (Metro Nashville Zoning)

PERMANENT RESIDENTIAL	PUD		
	CG	CP	CPL
Dwelling, attached	N	N	N
Dwelling, one-family detached	N	N	N
Dwelling, two-family detached	N	N	N
Dwelling, semi-detached	N	N	N
Dwelling, multi-family	N	N	N
Dwelling, mobile home	N	N	N
Bed & Breakfast Homestay	N	N	N
Mobile Home Park	N	N	N
SEMI PERMANENT RESIDENTIAL	N	N	N
COMMUNITY FACILITY ACTIVITIES			
Administrative	P	P	P
Community Assembly	P	P	P
Community Education	N	N	N
Cultural and Recreation Services	N	P	N
Essential Services	P	P	P
Extensive Impact	C	N	N
Health Care	C	P	N
Institutional Care	N	N	N
Intermediate Impact	C	N	N
Personal & Group Care	C	P	N
Religious Facilities	C	C	N
COMMERCIAL ACTIVITIES			
Adult Oriented Establishment *****	N	N	N
Animal Care & Veterinarian Services	P	P	N
Automotive Parking	P	P	P
Automotive Repair and Cleaning	P	N	N
Automotive Servicing	P	N	N
Building Materials and Farm Equipment	P	N	N
Consumer Repair Services	P	P	P
Construction Sales & Services	P	N	N
Convenience Commercial	P	P*****	P
Entertainment & Amusement Services	P	P	P
Financial, Consultive, & Administrative	P	P	P
Food & Beverage Services	P	P	P
Food Service Drive-in & Drive-thru	P	P	P
General Business & Communication Services	P	P	P
General Personal Services	P	P	P
General Retail Trade	P	P	P
Group Assembly	N	P	N
Medical Services	P	P	P
Scrap Operations	N	N	N
Transient Habitation: Hotel	P	P	N
Transient Habitation: Motel	P	P	N
Transient Habitation: Extended Stay Hotel/Motel	C	P	N
Transient Habitation: Short Term Rental Properties	P	N	N
Transient Habitation: SRO	N	N	N
Transport & Warehousing	P	N	N
Undertaking Services	P	P	N
Vehicular, Craft & Related Equipment Sales	P	N	N
Wholesale Sales	P	P	N
Tourist Oriented Limited Manufacturing*****	C	C	N
MANUFACTURING ACTIVITIES			
Limited	P	N	N
Intermediate	N	N	N
High Technology Manufacturing, Assembly, Process	P	N	N
Extensive	N	N	N
AGRICULTURAL, RESOURCE			
Agricultural Services	N	N	N
Crop & Animal Raising	N	N	N
Mining & Quarrying	N	N	N
Plant & Forest Nurseries	P	N	N
Confined Animal Feeding Operations	N	N	N

MOTION OPTIONS:

1. Recommend to the Goodlettsville City Commission approval of the CG, Commercial General zoning district based on the Planning Commission’s determination during the meeting that the proposal is in compliance with the City’s Comprehensive Plan
2. Recommend to the Goodlettsville City Commission denial of the CG, Commercial General zoning designation based on the Planning Commission’s determination during the meeting that the proposal is not in compliance with the City’s Comprehensive Plan.
3. Defer the request to include additional information as determined by the Planning Commission

Staff recommendation to be provided at meeting

ITEM#6 Rose Hill Park/ Nashville Civil LLC: Requests preliminary subdivision plat and construction plan approval for three (3) residential lots and roadway cul-de-sac construction on 2.87 acres at the end of Rosehill Drive and one residential lot at the end of Harris Drive. Property referenced as Davidson County Tax Map/Parcel# 02508004600 and is zoned R-10, Medium Density Residential. Property Owners: Rosehill Park, LLC (6-24) Deferred at February 2nd Meeting

STAFF NOTES:

The request was deferred at the February 2, 2026 meeting due to the number and type of remaining plan revisions required. The Planning Commission at the June 3, 2024 meeting approved the concept layout of the property. The proposal includes the extension of Rose Hill Drive with a public cul-de-sac. The previous plan submittals included a private street section instead. The project design is proposed to separate the public storm water from the existing street and street side ditches and the development generated private storm water for storm water quantity and quality treatment. The project cul-de-sac design was previously considered and determined to maintain a limited reduced slope from the existing Rose Hill Street slope with the cul-de-sac designed slope of 13.8% percent. The slope issue is due to the current street design and lot buildability limitations with a street design attempting to transition the existing street slopes of 17.5% slopes at the cul-de-sac to meet the City’s Street Standards. The project design includes Subdivision Regulations design variances from the requirement of street slopes at ten (10%) and cul-de-sac slopes at five (5%) percent. The proposed storm water quality and quantity design includes proposed grading and vegetation replacement within the stream buffer which will also require review by the TDEC, Tennessee Department of Environment and Conservation to prove no water quality impacts to the stream area.

STAFF STIPULATIONS:

1. Obtain TDEC approvals for the proposed stream buffer alteration
2. Complete City’s Engineer Consultant and City Staff plan review comments prior to any project land disturbance permit issuance including full plan details, lot dimensions, notation that the lot#4 area referenced is to be open space, location of utility and drainage easements, complete storm water facility design, sewer service capacity service and design approval, and cul-de-sac street light design per the Nashville Electric Services (NES) lighting manual.

MOTION OPTIONS:

1. Approve the construction plans with the defined staff stipulations. The construction plan design includes the referenced Subdivision Regulations street and cul-de-sac slope variances
2. Deny the construction plans and define the needed construction plan amendments based on the Planning Commission’s determination during the meeting that the construction plans do not meet the City’s Subdivision Regulations and Zoning Ordinance.
3. Defer the request for the applicant to provide additional information including the plan review comments and any other items as determined by the Planning Commission during the meeting discussion.

Staff recommendation to be provided at meeting

ITEM#7 Goodlettsville City Commission requests the Planning Commission to review and provide a recommendation for six (6) vacant properties with existing HDRPUD, High Density Residential Planned Unit Development zoning including a possible property zoning change.

Property#1 6.69 Acres- 0 Alta Loma along east side of I-65 south of Rivergate Parkway:
Property Owners: Brittney and Richard Fisher- Davidson County Tax Map/Parcel# 03401008200

Property#2 5.92 Acres- O West Monticello Ave. Property Owner: Dr. D.N Singh. Davidson County Tax Map/Parcel# 03409002400

Property#3 5.9 -Acres- O Dry Creek Road. Property Owner: Warren B Properties, LLC. Davidson County Tax Map/Parcel# 03300020600

Property#4 Dry Creek Road – 2.54 Acres. Property Owners: Sam Tinnin and James Simpson. Davidson County Tax Map/Parcel# 03300020400

Property#5 31.05 Acres- 188 Dry Creek Road. Property Owners: Donovan and Edna Grant.
Davidson County Tax Map/Parcel# 03300002100

Property#6 1211 S. Dickerson Road Rear Portion of 6.9 Acres. Property Owners:
Goodlettsville Partners, LLC. Davidson County Tax Map/Parcel# 03300003400

STAFF NOTES:

The Goodlettsville City Commission has requested the Planning Commission provide a recommendation on the zoning on the following six (6) properties. The City Commission previously reviewed ten (10) current vacant properties zoned HDRDPUD, High Density Residential Planned Unit Development. Four (4) of the properties include active development vested plan rights. The following six (6) properties do not include active development plan rights due to either the timeline of prior approvals or due to there being no available plans associated with the property. The Planning Commission can recommend maintaining the existing zoning for all of the six (6) properties or individual properties or recommend a revised property zoning district for all of the six (6) properties or individual properties.

Property Information below included in report to Goodlettsville City Commission

Property#1

6.69 Acres- 0 Alta Loma along east side of I-65 south of Rivergate Parkway:
Property Owners: Brittney and Richard Fisher
County: Davidson County
Property Zoning: HDRPUD, High Density Residential Planned Unit Development.
Comprehensive Land Use Plan Designation: Residential Neighborhood Preservation
Surrounding Zoning Districts:
-HDRPUD, High Density Residential Planned Unit Development,
-CSL, Commercial
-R25, Low Density Residential
Surrounding Uses: Townhouses, Apartments, Houses, I-65, Billboard, Cell Tower
Active Vested Rights: No
Project Master Plan: No
Zoning District Options: HDRPUD or R25, Low Density
Staff Recommended Zoning District: HRDPUD

Property#2

5.92 Acres- O West Monticello Ave:
Property Owner: Dr. D.N Singh
Property Zoning: HDRPUD, High Density Residential Planned Unit Development.
County: Davidson County
Comprehensive Land Use Plan Designation: Residential Neighborhood Preservation
Surrounding Zoning Districts:
-HDRPUD, High Density Residential Planned Unit Development,
-R15, Medium Density Residential

Surrounding Uses: Railroad Tracks, Townhouse, Houses, Nashville State Campus
Active Vested Rights: No
Project Master Plan: No
Staff Recommended Zoning District: HRDPUD
Zoning District Options: HDRPUD or R15, Medium Density

Property# 3

5.9 -Acres- O Dry Creek Road
Property Owner: Warren B Properties, LLC.
Property Zoning: HDRPUD, High Density Residential Planned Unit Development
County: Davidson County
Comprehensive Land Use Plan Designation: Residential Neighborhood Preservation
Surrounding Zoning Districts:
-HDRPUD, High Density Residential Planned Unit Development
-R25, Low Density Residential (Draper Drive)
Surrounding Uses: Apartments, Houses, Townhouses
Active Vested Rights: No
Project Master Plan: Original Rivergate Acres master plan.
Staff Recommended Zoning District: HDRPUD
Zoning District Options: HDRPUD

Property#4

Dry Creek Road – 2.54 Acres
Property Owners: Sam Tinnin and James Simpson
Property Zoning: HDRPUD, High Density Residential Planned Unit Development.
County: Davidson County
Comprehensive Land Use Plan Designation: Residential Neighborhood Preservation
Surrounding Zoning Districts:
- HDRPUD, High Density Residential Planned Unit Development.
-CPUD, Commercial Planned Unit Development
Surrounding Uses:
-Apartments and Church Building
-Active Vested Rights: No
Project Master Plan: No
Staff Recommended Zoning District: HDRPUD
Zoning District Options: HDRPUD or CPUD

Property#5

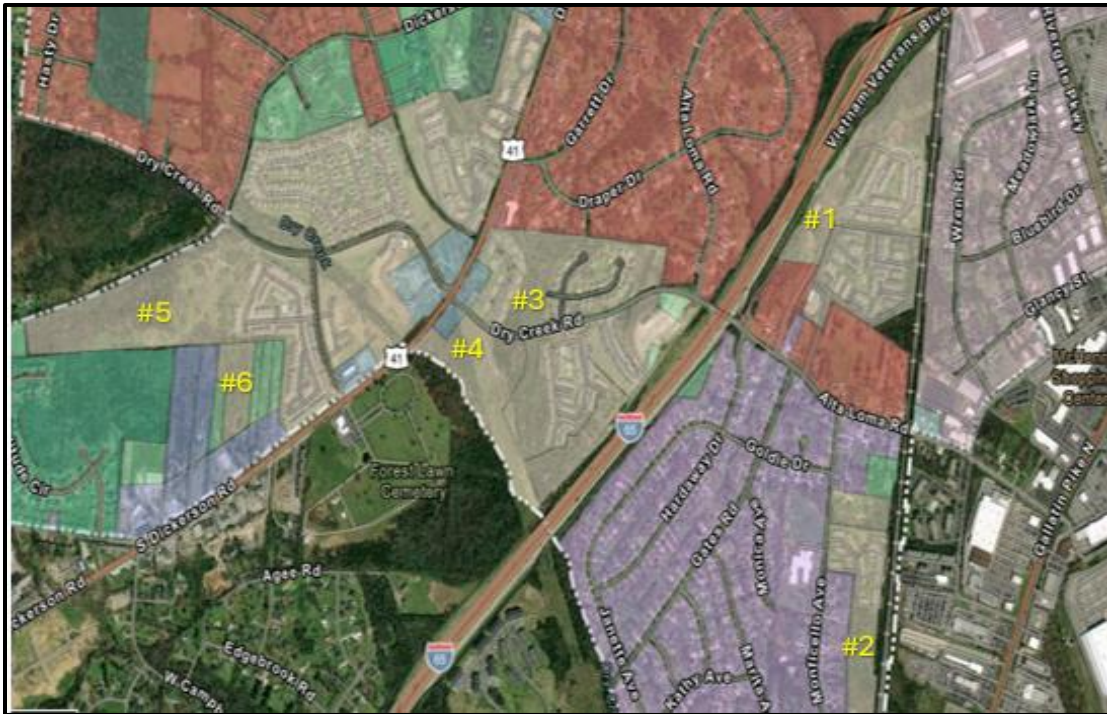
31.05 Acres- 188 Dry Creek Road
Intersection of Dry Creek Road/Old Dickerson Road
Property Owners: Donovan and Edna Grant
Property Zoning: HDRPUD, High Density Residential Planned Unit Development.
County: Davidson County
Comprehensive Land Use Plan Designation: Residential Neighborhood Preservation
Surrounding Zoning Districts:

-HDRPUD, High Density Residential Planned Unit Development.
-LDRPUD, Low Density Residential Planned Unit Development
-CS, Commercial Services
-A, Agricultural
Surrounding Uses:
-Apartments and Houses
Active Vested Rights: No
Project Master Plan: 2003 Dry Creek Farms Master Plan– Seventy-two (72) Condos, Six (6)
Residential House Lots
Staff Recommended Zoning District: HDRPUD or MDRPUD, Medium Density Residential
Planned Unit Development
Zoning District Options: HDRPUD, MDRPUD, Medium Density Residential, LDRPUD, or R25

Property#6

1211 S. Dickerson Road Rear Portion of 6.9 Acres
Property Owners: Goodlettsville Partners, LLC
Property Zoning: HDRPUD, High Density Residential Planned Unit Development.
County: Davidson County
Comprehensive Land Use Plan Designation: Residential Neighborhood Preservation
Surrounding Zoning Districts:
-HDRPUD, High Density Residential Planned Unit Development.
-LDRPUD, Low Density Residential Planned Unit Development
-CS, Commercial Services
-A, Agricultural
Surrounding Uses:
-Apartments, Houses, Commercial
Active Vested Rights: No (Recently Expired in July 2025)
Project Master Plan: Seventy-five (75) Unit Apartment and Dickerson Road Frontage Area
Zoned CS, Commercial Services
Staff Recommended Zoning District: HDRPUD
Zoning District Options: HDRPUD, CS, Commercial Services

Goodlettsville Zoning Map



- Light Green/Brown- HRDPUD, High Density Residential Planned Unit Development
- Purple- R15, Medium Density Residential
- Red- R-25, Low Density Residential
- Light Green- Agricultural
- Light Blue- CPUD, Commercial Planned Unit Development
- Dark Green- LDRPUD, Low Density Residential Planned Unit Development

Comprehensive Land Use Plan Section:

Residential Neighborhood Preservation

This district aims to maintain small-town charm into the future by preserving the character of its existing neighborhoods to prevent inconsistent infill development and redevelopment in the neighborhood. **The district seeks to preserve existing residential subdivisions and neighborhoods by maintaining average lot sizes and limiting zoning uses in order to provide consistent property uses and densities. The district seeks to ensure that the development of vacant properties are generally consistent with the density and design of adjacent areas.**

MOTION OPTIONS:

1. Recommend to the Goodlettsville City Commission to alter the HDRPUD, High Density Residential Planned Unit Development zoning of the six (6) properties or certain defined properties based on the Planning Commission's determination during the meeting that the revised property zoning designations are in compliance with the City's Comprehensive Land Use Plan
2. Recommend to the Goodlettsville City Commission to maintain the existing HDRPUD, High Density Residential Planned Unit Development zoning of the six (6) properties or certain defined properties based on the Planning Commission's determination during the meeting that the current HDRPUD property zoning designations are in compliance with the City's Comprehensive Land Use Plan
3. Defer the request to include additional information as determined by the Planning Commission

DISCUSSION ITEM

-Draft Zoning Ordinance Amendment- Fence Regulations

The City's Board of Zoning and Sign Appeals recently reviewed an administrative appeal regarding the fence section of the Zoning Ordinance. The appeal was based on the ordinance section limiting solid fences over four (4') feet in the front yard of the property and the percentage of open portions of the fence that would be required to not be considered a solid type fence.

A Board of Zoning and Signs Appeals member provided the following Zoning Ordinance amendment suggestion to address the open and solid fence ordinance text.

Zoning Ordinance Section 14-201(3) Definitions (New Definitions)

Fence. A freestanding structure, or a structure attached to posts, columns, or pilasters, erected to enclose, screen, separate, secure, or mark a boundary on a lot. A fence includes gates. A fence does not include vegetation used alone.

Fence, decorative. An open style fence constructed of customary decorative materials and design compatible with surrounding development. Examples include finished wrought iron, aluminum tubing, wood picket, split rail, brick, and stone.

Fence, open style. A fence designed to allow visibility through the fence area. Openness is measured as a percentage of open area compared to the total fence area, excluding posts and

columns. Examples include chain link without slats, wrought iron, aluminum tubing designed to simulate wrought iron, split rail, and spaced picket fences.

Fence, solid style. A fence designed to substantially block visibility through the fence area. Examples include stockade wood privacy fences, vinyl privacy fences, composite privacy fences, masonry privacy walls, and chain link fencing with slats or inserts intended to block views.

Opacity. The percentage of the fence area that obscures views into the lot when viewed perpendicular to the fence. A fence with 50 percent opacity obscures no more than 50 percent of the view into the land.

Wall. A masonry, stone, brick, concrete, or similar constructed barrier serving the same boundary, screening, or security purposes as a fence.

Zoning Ordinance Section 14-208(1)(b) Fences and Walls (Amendments in Bold Italics)

(b) Fences, walls, and hedges. Notwithstanding other provisions of this title, fences, walls, and hedges may be permitted in any required yard, or along the edge of any yard except as prohibited in subsection 14-208(1)(a) above.

In any residential district, no fence or wall shall exceed eight feet (8') in height and shall not extend past the front of the principal building. Between the front of the principal building and the street right-of-way, no open type fence shall exceed six feet (6') in height and solid type fence, or wall are limited to four feet (4') in height.

Between the front of the principal building and the street right-of-way, any fence exceeding four feet (4') in height shall be an open-style fence and shall not exceed fifty percent (50%) opacity.

In commercial or industrial districts, no fence or wall shall exceed fifteen feet (15') in height. Between the front of the principal building and the street right-of-way, no fence or wall shall exceed six feet (6') in height.

For purposes of administration and enforcement, fences shall be classified as open style or solid style in accordance with the definitions set forth in § 14-201(3).

The height of such fences and walls shall be measured from the finished grade to top of the individual sections. Such sections may be measured separately and averaged. When applicable, fences shall be constructed in compliance with the design guidelines. Fences shall be constructed of materials listed below:

- Woven wire chain link - excluding any barb wire type fencing.

- Wrought iron or similar aluminum design.
- Wood, vinyl, steel, or aluminum slats of no more than one inch by six inches in width when hung vertically, horizontally, or diagonally between steel, wood or vinyl posts. Unfinished fence materials and the framing members of all fences shall not be directly visible from the street on which it is located. Placement of the framing members of board fences on the outside face of the fence directly visible from the street may be approved by the planning department if it is determined that it enhances the architectural character of the fence. NOTE: There is no requirement to face framing members of board fences between adjoining properties that are not directly visible from the street.
- Masonry consisting of brick, concrete block, split-face block, dry-stack stones, or stones and mortar.
- Wire fencing that is secondary in nature and located on the interior side of the fence may be allowed in combination with any fence that would otherwise meet the above material requirements.
- Any other combination of materials listed above or other materials which the planning department determines to be equivalent to the above in terms of quality and appearance.
- Property line and agricultural type fencing including woven wire, single wire fence, and barb wire are only permitted in existing non-conforming installations and on properties zoned agricultural or five acres or larger as permitted by the provisions of the zoning ordinance. The planning department may review a property line single wire fence not including barb wire on vacant properties less than five acres to define property lines. Woven wire chain link fences including barb wire at the top of a fence constructed to meet the above material requirements may be approved by the planning department in industrial zoned properties when the installation is not located along a public street.

OFFICIAL MINUTES OF THE MEETING

GOODLETTSVILLE PLANNING AND ZONING COMMISSION

February 2, 2026

Goodlettsville City Hall

5:00 p.m.

Massie Chambers-Auditorium

Present: Chairman Scott Trew, Billy Barnfield, Terry Coats, Jeff Parnell, Mayor Rusty Tinnin, and Judy Wheeler.

Absent: Commissioner Cisco Gilmore

Also Present: Addam McCormick (Staff), Tim Ellis-City Manager, Russell Freeman-City Attorney, Sharon Reed (Staff), and Alex West (Staff).

Trew called the meeting to order and offered prayer.

Item #1 Approval of Agenda: Coats made a motion to approve the agenda, Barnfield seconded the motion. The motion passed.

Item #2 Approval of January 5, 2026 Meeting Minutes: Mayor Tinnin made a motion to approve the minutes of the January 5, 2026 meeting, Parnell seconded the motion. The motion passed.

Item #3 Trew opened the Public Forum on Planning Related Topics.

David Smith – 201 Rose Hill Drive

Mr. Smith stated that they have lived in Goodlettsville since 1990 and loves living in Goodlettsville. Smith stated that he thinks Goodlettsville is the best kept secret place to live. Smith lives at the dead end of Rose Hill Drive and supports the Rosehill Park development. Smith stated the development plans show a turnaround at the dead end and thinks that will be a big help for the neighborhood.

Jim Snyder- 1008 Caldwell

Mr. Snyder attended last month's meeting and wanted to thank the members for their discussion on the secondary and accessory dwelling units. Snyder wants to speak in support of the secondary dwelling units that is listed on the agenda for discussion.

Trew asked for any additional comments and no additional comments were received.

Barnfield made a motion to close the public forum, seconded by Parnell. The motion passed.

The Public Forum was closed.

AGENDA

Item #4 Rivergate Mall Redevelopment/CESO INC: Request revised final subdivision plat to combine existing parcels totaling 57.77 acres into two (2) lots including a 44.70-acre lot and a 13.05-acre lot. The properties are referenced as Davidson County Tax Map/Parcels# 02614002400, 02614002600, 02614002800, 02614005200, 02614005500, 02614005600, 03402007600, 03402007700, and

02614006100. The properties are zoned RC1, Regional Center Planned Unit Development High Intensity. A portion of the properties are also in the Metro Davidson County Nashville Zoning Jurisdiction. Property Owners: MRH Rivergate LLC, KDI Rivergate Mall LLC, J.C. Penny Co Inc, Penny Property Sub Holdings LLC, and Dillard TN. Operating LTD. Partnership (7-24/1-25).

Item Representative: Kate Jarosh, Merus

Staff Discussion:

- The Planning Commission at the December 1, 2025 meeting approved a subdivision plat that did not include the Dillard TN. Operating LTD properties.
- The properties include a small section in the Goodlettsville City limits.
- The subdivision plat is a revision of the previous approval to include the Dillard TN. Operating LTD Properties.
- Motion Option-Approve the final subdivision plat since the subdivision plat meets the City's Zoning Ordinance and Subdivision Regulations requirements. (Staff Recommendation)
- Motion Option-Deny the final subdivision plat based on the determination by the Planning Commission during the meeting that the subdivision plat does not meet the City's Zoning Ordinance and Subdivision Regulations requirements.
- Motion Option-Defer the request to include any Planning Commission determined revisions needed to correct the subdivision plat.

Planning Commission Discussion: N/A

Motion: Motion by Parnell to approve the request, seconded by Barnfield. The motion passed.

Item #5 Rivergate Master Plan: Merus/Rivergate Holdings, LLC: Request revised preliminary master plan to include the revised location of a residential use per a previous master plan amendment. The properties are referenced as Davidson County Tax Map/Parcels# 02614002400, 02614002600, 02614002800, 02614005200, 02614005500, 02614005600, 03402007600, 03402007700. The properties are zoned RC1, Regional Center Planned Unit Development High Intensity. Property Owners: MRH Rivergate LLC, KDI Rivergate Mall LLC, Penny Property Sub Holdings LLC, and Dillard TN. Operating LTD. Partnership (7-24/1-25).

Item Representative: Kate Jarosh, Merus

Staff Discussion:

- The Planning Commission at the December 1, 2025 meeting approved a preliminary master plan amendment to replace a 120-room hotel and 17,000 square feet commercial uses with 87,000 square feet of commercial use including a 51,000 square feet grocery retail center and smaller retail and restaurant spaces.
- The December amendment also included that the 340-unit apartment use would be transferred to an additional phase.
- The current proposed amendment includes relocating the 340-unit apartment use to the defined master plan area replacing the 75,000 square feet entertainment and 46,000 square feet commercial and medical office uses.
- Motion Option-Approve the master plan amendment based on the request meeting the intention for a mixed-use redevelopment project master plan and not altering the overall mixed use design intention of

the redevelopment project. (Staff Recommendation)

- Motion Option-Deny the proposed master plan amendment if the Planning Commission determines the proposed alterations would alter the overall mixed use design intention of the redevelopment project.
- Motion Option-Defer the request to include additional information as determined by the Planning Commission.

Planning Commission Discussion:

- Parnell asked if there was not a market need for the sports and entertainment area at this time?
- Jarosh responded that all the changes that have been made are market driven.
- Parnell asked if the sports and entertainment was something Goodlettsville was wanting or was it in the original plan?
- McCormick responded in the original plan and thinks originally, they had a possibility, but the City's goal was to get as much commercial as possible.

Motion: Motion by Parnell to approve the request, seconded by Wheeler. The motion passed.

Item #6 Rose Hill Park/ Nashville Civil LLC: Requests preliminary subdivision plat and construction plan approval for three (3) residential lots and roadway cul-de-sac construction on 2.87 acres at the end of Rosehill Drive and one residential lot at the end of Harris Drive. Property referenced as Davidson County Tax Map/Parcel# 02508004600 and is zoned R-10, Medium Density Residential. Property Owners: Rosehill Park LLC (6-24)

Item Representative: Brian Hamilton, PE Nashville Civil LLC, Tom Harris, Accoa, LLC Developer, and Silas Mathes, Davey Resource Group, Inc.

Staff Discussion:

- The Planning Commission at the June 3, 2024 meeting approved the concept layout of the property.
- The proposal includes the extension of Rose Hill Drive with a private cul-de-sac.
- The private cul-de-sac will be required to be built to the City's Street Standards.
- The project design is proposed to separate the public storm water from the existing street and street side ditches and the development generated private storm water for storm water quantity and quality treatment.
- The project cul-de-sac design was previously considered and determined to maintain the existing Rose Hill Street slope in the cul-de-sac designed slope of 13.8% percent due to street design and lot buildability limitations with a street design attempting to transition the existing street slopes of 17.5% slopes at the cul-de-sac to meet the City's Street Standards.
- The project design includes a Subdivision Regulations design variances from the requirement of street slopes at ten (10%) and cul-de-sac slopes at five (5%) percent.
- The proposed storm water quality and quantity design includes proposed grading and vegetation replacement within the stream buffer which will also require review by the TDEC, Tennessee Department of Environment and Conservation to prove no water quality impacts to the stream area.
- The proposed storm water bio-retention design depending on the required TDEC review might be altered due to the stream buffer average requirement of sixty (60') feet buffer on both sides of the stream with a minimum dimension of thirty (30') feet.
- A fourth lot for a one-family detached dwelling unit was previously discussed on the portion of the property fronting Harris Street across the stream area.
- If that is still part of the proposal, then the plans will need to be amended to include a fourth lot for a one family detached dwelling unit.

- Due to the proposal for a private extension of the Rose Hill public street, the City will require with the project final subdivision plat process submittal of private maintenance documents for the street and storm water and improvements and the cul-de-sac street light utility service to be recorded with the subdivision plat.
- Staff Stipulation-Obtain TDEC approvals for the proposed stream buffer alteration.
- Staff Stipulation-Complete City's Engineer Consultant and City Staff plan review comments prior to any project land disturbance permit issuance including, but not limited to, full plan details, lot dimensions, location of utility and drainage easements, complete storm water facility design, sewer service capacity service and design approval, building architectural design requirements to include compliance with the Design Guidelines approved with the concept plan including a minimum fifty (50%) brick and/or stone and secondary material requirements, and cul-de-sac street light design per the Nashville Electric Services (NES) lighting manual.
- Motion Option-Approve the construction plans with the defined staff stipulations. The construction plan design includes the referenced Subdivision Regulations street and cul-de-sac slope variances.
- Motion Option-Deny the construction plans and define the needed construction plan amendments based on the Planning Commission's determination during the meeting that the construction plans do not meet the City's Subdivision Regulations and Zoning Ordinance.
- Motion Option-Defer the request for the applicant to provide additional information including the plan review comments and any other items as determined by the Planning Commission during the meeting discussion. (Staff Recommendation)

Planning Commission Discussion:

- Hamilton stated they will re-submit based on comments they have with outside reviewers but the re-submittal will be largely what is in front of you.
- Hamilton stated they are going to change the routing of one (1) storm pipe and show some easements.
- Hamilton stated they will not be changing the location of the units, or the design of the cul-de-sac.
- Trew asked if the cul-de-sac/turn around will be gated?
- Hamilton responded no and discussed the public/private turn around right-of-way.
- McCormick discussed working with them for a right-of-way/public street rather than a private street section.
- McCormick discussed the stipulation to obtain TDEC approvals for the stream buffer alteration because it could change the pond design.

Motion: Motion by Barnfield to defer the request, No second. The motion failed.

- Parnell asked if someone could speak on the TDEC issues.
- Mathes responded that the buffer regulations are applied through the TN Construction General permit for storm water discharges and discussed the permit from TDEC regarding equivalent measures that are designed by the engineer.
- Mathes stated the calculations are within the sixty (60') foot average buffer except for the offsite stream on the North side of the property.
- Mathes discussed the storm water along a swale and the alternative idea of taking a swale along the property boundary, allowing water to infiltrate.
- Parnell asked if they would have that approved by next month's meeting?
- Mathes responded it could maybe take forty-five (45) days to get all resolved.
- Tim Ellis-City Manager stated that the City engineer consultant is here if they want to hear from them.

- Trew stated that is a good idea.
- James Robert Dearman, OHM Advisors, stated they did a review of the sixty (60') foot buffer and because the stream is impaired, they can average sixty (60') foot off that stream, but from their review it looked like a lot less than sixty (60') foot and in the TDEC construction general permit it specifically says no grading or soil disturbance within an average of sixty (60') foot of that buffer, so we recommended either a TDEC waiver or a redesign before we could recommend approval.
- Wheeler asked McCormick how long it would take to work through the recommend staff stipulations?
- McCormick responded depending on how quick they could submit them, it could be two weeks, it would be up to them.
- Mayor Rusty Tinnin stated he has full faith and trust in the staff and asked McCormick after all the discussion are you still more comfortable with deferring the request?
- McCormick responded yes.

Motion: Motion by Mayor Rusty Tinnin to defer the request, seconded by Parnell.

- Mayor Rusty Tinnin stated we totally support this project and are excited about it, we are not wanting to deny or push out but Mr. McCormick is a thorough planner and we want to do what he recommends and thank you all for being here.

The motion passed.

DISCUSSION ITEMS

-Draft Zoning Ordinance Amendment- Secondary and Accessory Dwelling Units-

The Planning Commission at the January 5, 2026 meeting received comments during the Public Forum section of the agenda regarding permitting accessory dwelling units. The Planning Commission has previously discussed proposals for accessory dwelling units and decided not to proceed with a Zoning Ordinance recommendation to the City Commission. The property discussed during the Public Forum is located on Caldwell Drive and is zoned R40, Low Density Residential. The property includes 2.81 acres. Another option would be to amend the Zoning Ordinance to include a conditional use review by the City's Board of Zoning and Sign Appeals board for a secondary dwelling unit on a property. The secondary dwelling unit would only be an option in the case of properties including adequate roadway frontage and property dimensions to permit a subdivision of the property for a separate lot per the Zoning Ordinance and designated property zoning. The intention of the secondary dwelling unit would be to maintain the consistent building setting of the surrounding area and maintain the property size. The application of the secondary dwelling units would not apply to a majority of residential properties due to the property dimension requirements and private neighborhood property restrictions. Staff presented and discussed Zoning Ordinance Amendments: Accessory Dwelling Unit 14-205 (3)(b) Table 1 and Secondary One Family Detached Residential Dwelling Unit.

Trew discussed the maximum square footage for an accessory dwelling unit of 700 square feet.

Jim Snyder and his daughter property owner Ms. Bethany Hardison both discussed that a thousand (1,000) square feet meets their needs for the guest house or whatever they call it secondary unit.

Snyder stated that they could divide the property and put the second building on there, but it wouldn't be conducive to the adjacent property owner.

Jim Snyder discussed how the main house and the guest house would look on the property with the same type of roof line and materials.

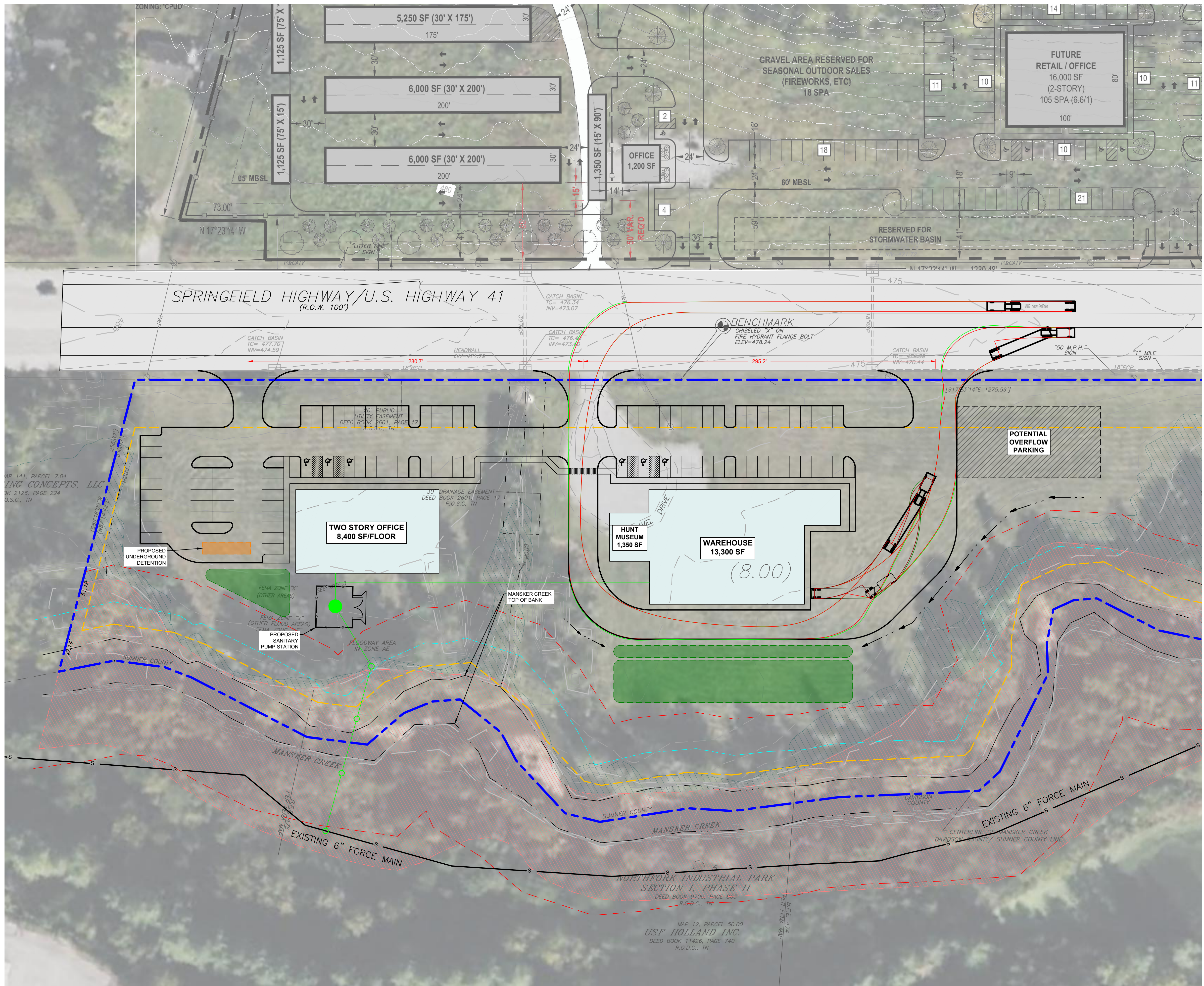
Barnfield discussed the houses being side by side, and the setbacks if the property were to be split.

Parnell discussed a secondary residential unit with a restriction line added to the deed.
McCormick discussed zonings and deed restrictions.
Jim Snyder commented that they would offer a deed restriction in the deed regardless of what happens in zoning that the property would not be subdivided.
Parnell commented that when we talk about potentially adding a zoning use and what we're going to have in the books that everybody's going to be reading and trying to follow, we want to make sure we're not creating a problem.
Parnell talked about different secondary unit scenarios, zonings, and minimum lot requirements.
Trew discussed secondary units being at the rear of the house and the size of the house matching the neighborhood.
Parnell discussed the differences between an accessory dwelling unit and a secondary residential unit.
Russell Freeman-City Attorney discussed the location of a secondary residential unit on a lot, putting a restriction on the lot that it can't be subdivided in the deed, and specifically tailoring this to particular lot sizes, zoning districts and it should have a minimum and maximum square footage.
Parnell discussed conditional use restrictions and legal issues for the City.
Russell Freeman-City Attorney commented once you create the zoning it runs with the land and it's allowed it would be difficult to say no for conditional use.
McCormick commented he will take the discussion tonight and will draft a Zoning Ordinance for a secondary dwelling unit on a property.

With no further business, the meeting was adjourned at 6:32 pm.

Scott Trew, Chairman

Sharon Reed, Planning Assistant

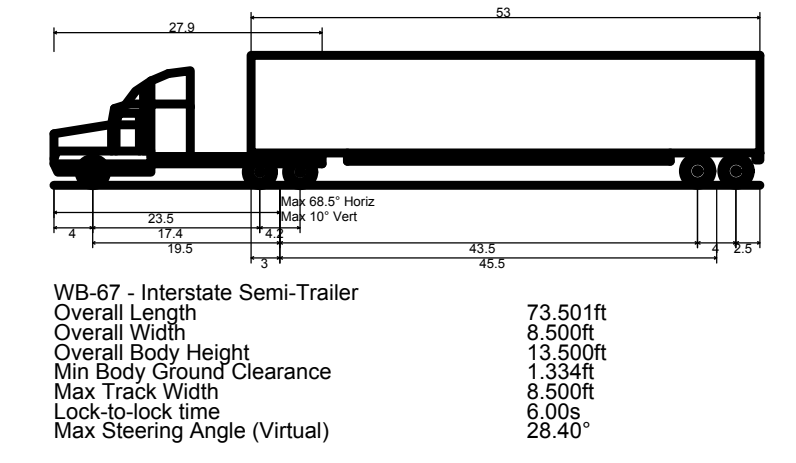


SITE DATA

Property Information	
STREET ADDRESS:	SPRINGFIELD HWY/U.S. HWY 41
MAP:	141
PARCEL:	8.00
DEED BOOK :	9700
PAGE:	863
EXISTING PARCEL ACREAGE:	7.53 AC (±328,007 SF)
PROPOSED PARCEL ACREAGE:	7.53 AC (±328,007 SF)
Zoning Information	
CURRENT ZONING:	CPUDL
PROPOSED ZONING:	COMMERCIAL GENERAL
EXISTING USE:	VACANT
PROPOSED USE:	OFFICE & WAREHOUSE
Building Area Summary	
OFFICE BUILDING AREA:	±16,800 SF
WAREHOUSE BUILDING AREA:	±13,300 SF
HUNT BUILDING AREA:	±1,350 SF
TOTAL BUILDING AREA:	±31,450 SF
MINIMUM BUILDING SETBACKS:	
FRONT:	40'
SIDE:	10'
REAR:	30'
Parking Summary	
PARKING REQUIREMENT:	OFFICE SPACE (1) SPACE PER 400 SF WAREHOUSE (1) SPACE PER 2,000 SF PLUS (1) SPACE PER 5,000 SF OPEN STORAGE AREA
PARKING REQUIRED:	OFFICE - 42 SPACES WAREHOUSE & HUNT - 10 SPACES
PARKING PROVIDED:	OFFICE - 56 SPACES WAREHOUSE & HUNT - 38 SPACES
EXCESS PARKING:	42 SPACES
ADA PARKING REQUIRED:	6 SPACES
ADA PARKING PROVIDED :	6 SPACES
*OFFICE SPACE PARKING REQUIREMENT ASSUMED FOR HUNT MUSEUM (CONSERVATIVE)	

TRUCK LEGEND

- FORWARD BODY OUTLINE
- REVERSE BODY OUTLINE
- FORWARD CHASSIS/WHEEL OUTLINE
- REVERSE CHASSIS/WHEEL OUTLINE



- FEMA FLOODWAY
- 100-YR FLOODPLAIN
- PROPOSED GREEN INFRASTRUCTURE
- PROPOSED BUILDING
- PROPERTY LINE
- SETBACK LINE
- 30' ZONE 1 STREAM BUFFER
- 60' ZONE 2 STREAM BUFFER

SPRINGFIELD HWY/U.S. HWY 41

ABG CAULKING CONTRACTORS



CITY OF GOODLETTSVILLE, SUMNER COUNTY, TN 37072



CONSTRUCTION PLANS

for:

Rosehill Park

Located:

Rosehill Drive
Goodlettsville
Davidson County
Tennessee

Plan Prepared By:

NC
Nashville Civil LLC
Site Design • Engineering
700 51st Avenue North
Nashville, TN 37209
P 615.353.9622
b@nashvillecivil.com

Client:
Accoa LLC
Tom Harris
415 Church Street
Nashville, TN 37219

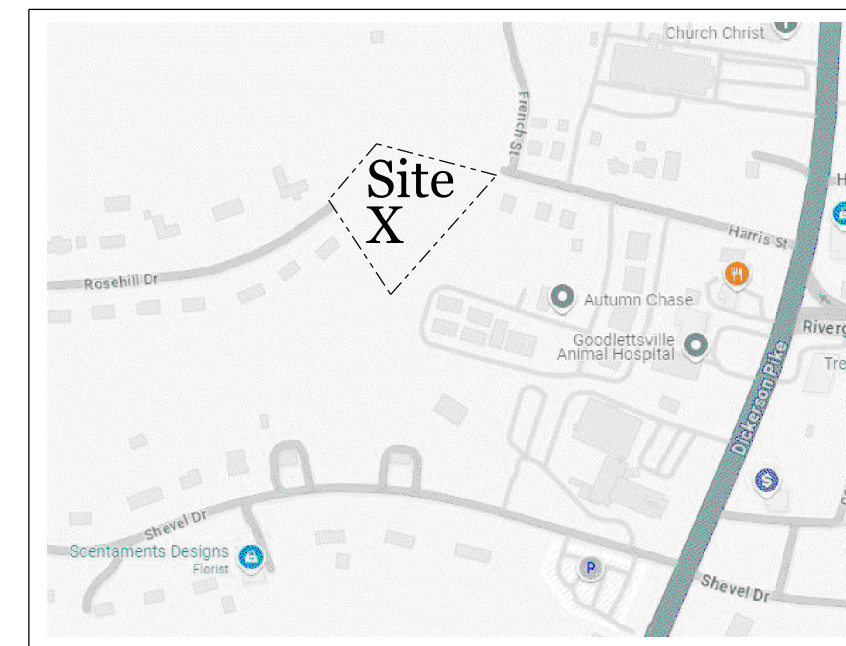
SHEET INDEX:

GENERAL:

CO	COVER SHEET
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CIVIL:

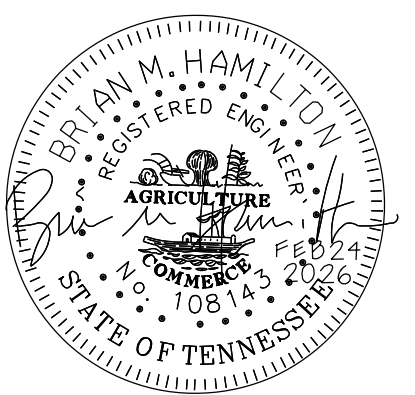
C0.1	EXISTING CONDITIONS
C1.0	SITE AND UTILITY PLAN
C1.1	CONCEPTUAL PRELIMINARY PLAT
C2.0	GRADING & DRAINAGE PLAN
C2.1	INITIAL EROSION CONTROL PLAN
C2.2	INTERMEDIATE EROSION CONTROL PLAN
C2.3	FINAL STABILIZATION PLAN
C2.4	SWPPP DETAILS AND NOTES
C2.5	BUFFER / EQUIVALENT MEASURES PLAN
C3.0	ROAD PLAN AND PROFILE
A0.0	SEE ARCHITECTURAL PACKAGE



Vicinity Map
not to scale

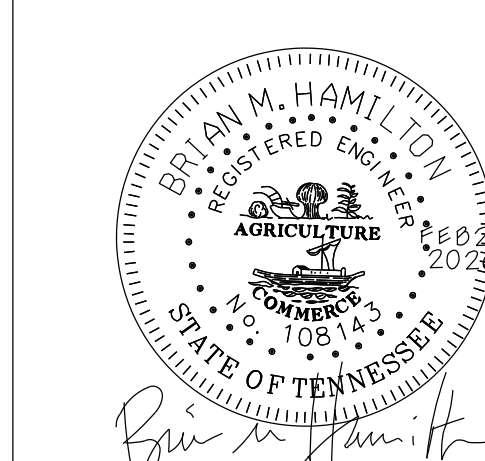
LEGEND:

- Property Line
- SS Sanitary Sewer
- Fire Hydrant
- ☐ Catch Basin
- Bldg Setback Lines
- ▨ Retaining Wall



COVER

CO



sheet title:
CONCEPTUAL PRELIMINARY PLAT

for:
ROSEHILL PARK

located:
121 HARRIS STREET

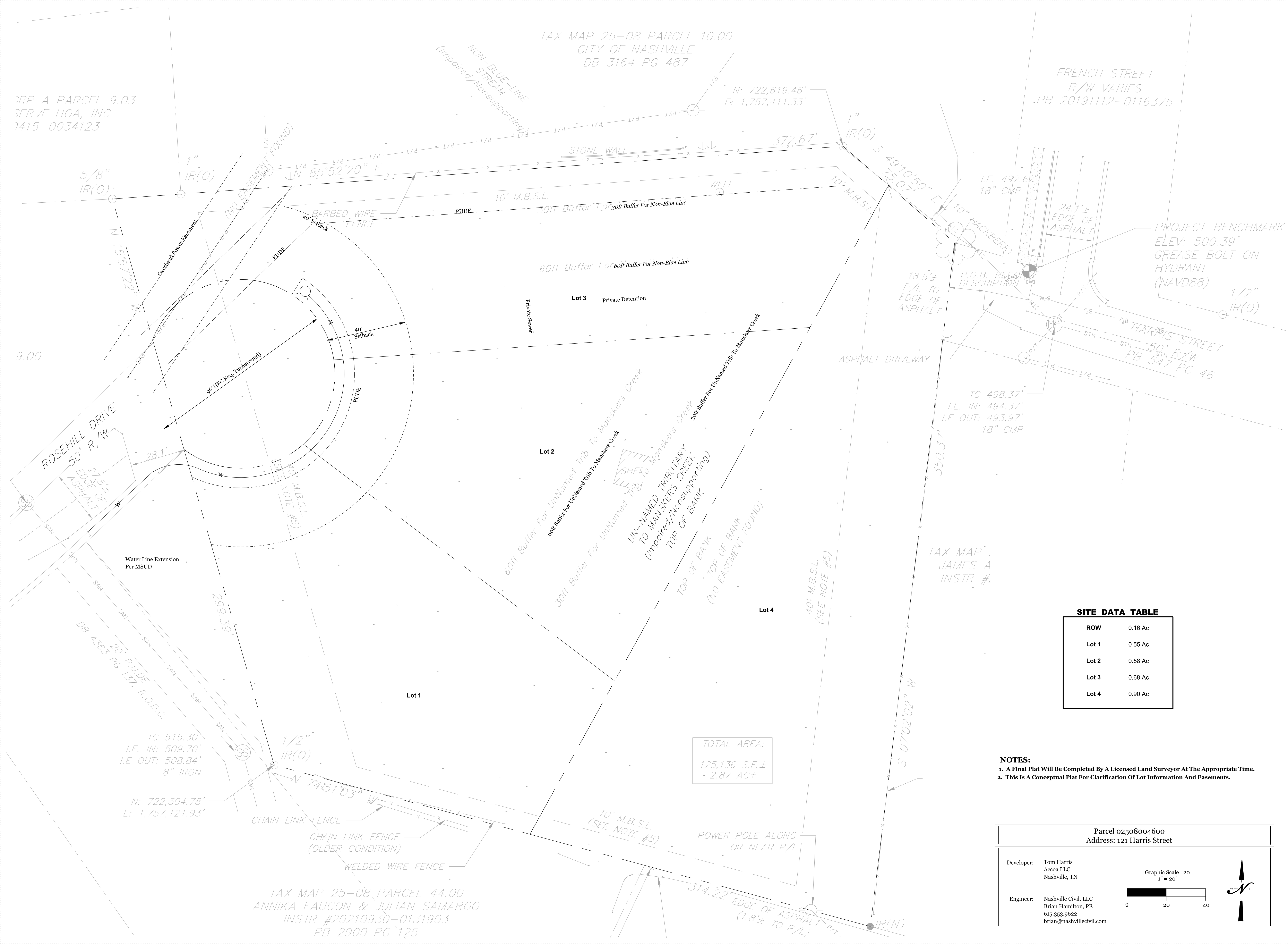
GOODLETTSVILLE DAVIDSON COUNTY TENNESSEE

Project #:
NC 24-481
Original Issue Date:
28 May 2024

Revisions:
2 30Aug24 - Construction Plans
3 27Sep24 - Re-Submittal
4 29Dec25 - New Submittal
5 31Dec25 - TDEC Submittal
6 22Jan26 - Resub. City
7 19Feb26 - Resub. City
8 24Feb26 - Add. Plans
Phase:
Construction Drawings

Conceptual Preliminary Plat

C1.1



SITE DATA TABLE

ROW	0.16 Ac
Lot 1	0.55 Ac
Lot 2	0.58 Ac
Lot 3	0.68 Ac
Lot 4	0.90 Ac

TOTAL AREA:
125,136 S.F. ±
- 2.87 AC ±

NOTES:
1. A Final Plat Will Be Completed By A Licensed Land Surveyor At The Appropriate Time.
2. This Is A Conceptual Plat For Clarification Of Lot Information And Easements.

Parcel 02508004600
Address: 121 Harris Street

Developer: Tom Harris
Accoa LLC
Nashville, TN

Engineer: Nashville Civil, LLC
Brian Hamilton, PE
615.353.9622
brian@nashvillecivil.com

Graphic Scale: 20
1" = 20'

SRP A PARCEL 9.03
SERVE HOA, INC
7415-0034123

TAX MAP 25-08 PARCEL 10.00
CITY OF NASHVILLE
DB 3164 PG 487

FRENCH STREET
R/W VARIES
-PB 20191112-0116375

9.00

ROSEHILL DRIVE
50' R/W

Water Line Extension
Per MSUD

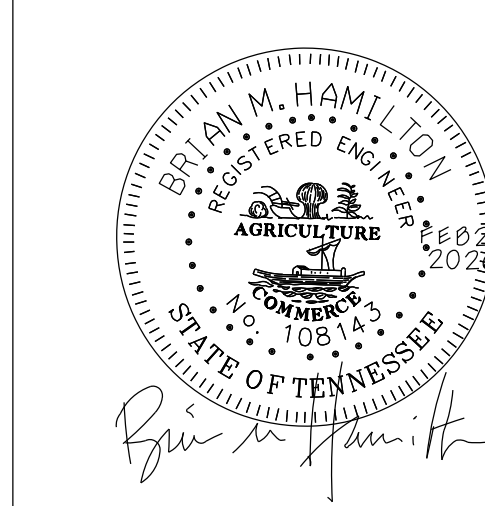
DB 4363 PG 137, R.O.D.C.
20' P.U.D.E.

TC 515.30'
I.E. IN: 509.70'
I.E. OUT: 508.84'
8" IRON

N: 722,304.78'
E: 1,757,121.93'

TAX MAP 25-08 PARCEL 44.00
ANNIKA FAUCON & JULIAN SAMAROO
INSTR #20210930-0131903
PB 2900 PG 125

TAX MAP
JAMES A
INSTR #.



sheet title:
SITE PLAN

for:
ROSEHILL PARK

located:
121 HARRIS STREET

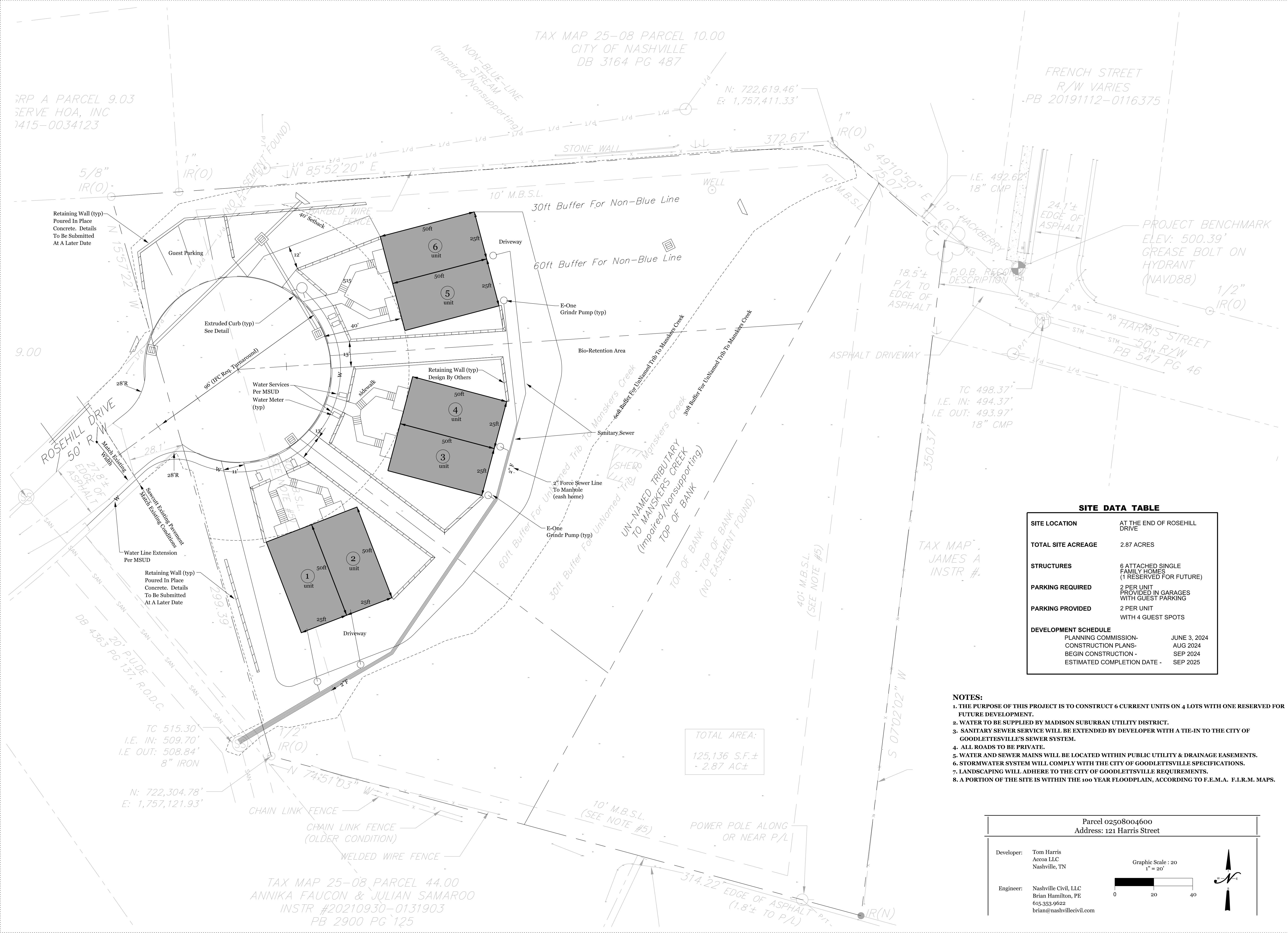
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Phase:
 Construction Drawings



SITE DATA TABLE	
SITE LOCATION	AT THE END OF ROSEHILL DRIVE
TOTAL SITE ACREAGE	2.87 ACRES
STRUCTURES	6 ATTACHED SINGLE FAMILY HOMES (1 RESERVED FOR FUTURE)
PARKING REQUIRED	2 PER UNIT PROVIDED IN GARAGES WITH GUEST PARKING
PARKING PROVIDED	2 PER UNIT WITH 4 GUEST SPOTS
DEVELOPMENT SCHEDULE	
PLANNING COMMISSION-	JUNE 3, 2024
CONSTRUCTION PLANS-	AUG 2024
BEGIN CONSTRUCTION -	SEP 2024
ESTIMATED COMPLETION DATE -	SEP 2025

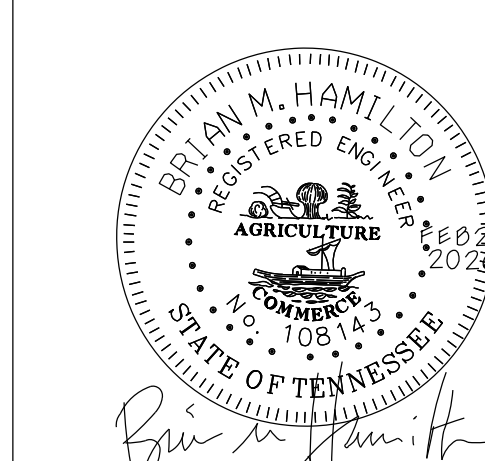
- NOTES:**
- THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT 6 CURRENT UNITS ON 4 LOTS WITH ONE RESERVED FOR FUTURE DEVELOPMENT.
 - WATER TO BE SUPPLIED BY MADISON SUBURBAN UTILITY DISTRICT.
 - SANITARY SEWER SERVICE WILL BE EXTENDED BY DEVELOPER WITH A TIE-IN TO THE CITY OF GOODLETTSVILLE'S SEWER SYSTEM.
 - ALL ROADS TO BE PRIVATE.
 - WATER AND SEWER MAINS WILL BE LOCATED WITHIN PUBLIC UTILITY & DRAINAGE EASEMENTS.
 - STORMWATER SYSTEM WILL COMPLY WITH THE CITY OF GOODLETTSVILLE SPECIFICATIONS.
 - LANDSCAPING WILL ADHERE TO THE CITY OF GOODLETTSVILLE REQUIREMENTS.
 - A PORTION OF THE SITE IS WITHIN THE 100 YEAR FLOODPLAIN, ACCORDING TO F.E.M.A. F.I.R.M. MAPS.

Parcel 02508004600
 Address: 121 Harris Street

Developer: Tom Harris
 Accoa LLC
 Nashville, TN

Engineer: Nashville Civil, LLC
 Brian Hamilton, PE
 615-353-9622
 brian@nashvillecivil.com

Graphic Scale: 20
 1" = 20'



sheet title:
GRADING AND DRAINAGE PLAN

for:
ROSEHILL PARK

located:
121 HARRIS STREET

GOODLETTSVILLE DAVIDSON COUNTY TENNESSEE

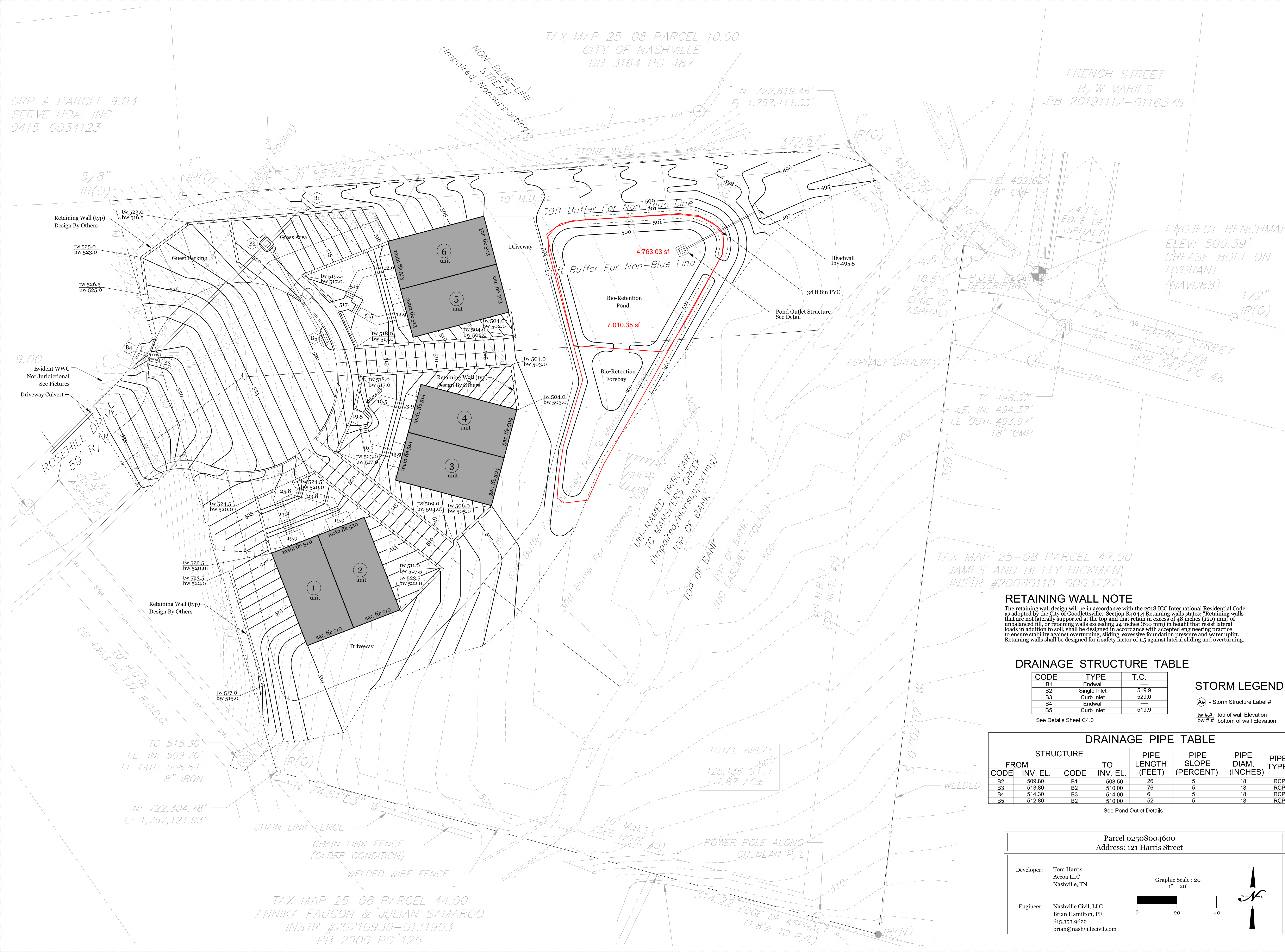
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- Phase:
 Construction Drawings

Grading And Drainage Plan

C2.0



RETAINING WALL NOTE

The retaining wall design will be in accordance with the 2018 ICC International Residential Code as adopted by the City of Goodlettsville. Section R404.4 Retaining walls states: "Retaining walls that are not laterally supported at the top and that retain in excess of 48 inches (1219 mm) of unbalanced fill, or retaining walls exceeding 24 inches (610 mm) in height that resist lateral loads in addition to soil, shall be designed in accordance with accepted engineering practice to ensure stability against overturning, sliding, excessive foundation pressure and water uplift. Retaining walls shall be designed for a safety factor of 1.5 against lateral sliding and overturning."

DRAINAGE STRUCTURE TABLE

CODE	TYPE	T.C.
B1	Endwall	---
B2	Single Inlet	519.9
B3	Curb Inlet	529.0
B4	Endwall	---
B5	Curb Inlet	519.9

See Details Sheet C4.0

STORM LEGEND

- Storm Structure Label #
 tw #.# top of wall Elevation
 bw #.# bottom of wall Elevation

DRAINAGE PIPE TABLE

STRUCTURE		PIPE LENGTH (FEET)	PIPE SLOPE (PERCENT)	PIPE DIAM. (INCHES)	PIPE TYPE
FROM CODE	TO CODE				
B2	B1	26	5	18	RCP
B3	B2	76	5	18	RCP
B4	B3	6	5	18	RCP
B5	B2	52	5	18	RCP

See Pond Outlet Details

Parcel 02508004600
 Address: 121 Harris Street

Developer: Tom Harris
 Accoa LLC
 Nashville, TN

Engineer: Nashville Civil, LLC
 Brian Hamilton, PE
 615-353-9622
 brian@nashvillecivil.com

Graphic Scale: 20
 1" = 20'

GRP A PARCEL 9.03
 SERVE HOA, INC
 0415-0034123

TAX MAP 25-08 PARCEL 10.00
 CITY OF NASHVILLE
 DB 3164 PG 487

FRENCH STREET
 R/W VARIES
 -PB 20191112-0116375

TAX MAP 25-08 PARCEL 47.00
 JAMES AND BETTY HICKMAN
 INSTR #20080110-00032221

TAX MAP 25-08 PARCEL 44.00
 ANNIKA FAUCON & JULIAN SAMAROO
 INSTR #20210930-0131903
 PB 2900 PG 125

TOTAL AREA:
 125,136 S.F. ±
 -2.87 AC±



Nashville Civil LLC
Site Design • Engineering
700 51st Avenue North
Nashville, TN 37209
P 615.353.9622
b@nashvillecivil.com

client:
Accoa LLC
Tom Harris
415 Church Street
Nashville, TN 37219



Brian M. Hamilton

sheet title:

INITIAL EROSION CONTROL PLAN

for:

ROSEHILL PARK

located:

121 HARRIS STREET

GOODLETTSVILLE
DAVIDSON COUNTY
TENNESSEE

Project #:

NC 24-481

Original Issue Date:

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- Phase:
Construction Drawings

Initial Erosion Control Plan

C2.1

TAX MAP 25-08, GRP A PARCEL 9.03
PARKVIEW PRESERVE HOA, INC
INSTR# 20190415-0034123

TAX MAP 25-08 PARCEL 10.00
CITY OF NASHVILLE
DB 3164 PG 487

FRENCH STREET
R/W VARIES
-PB 20191112-0116375

RP A PARCEL 9.03
ERVE HOA, INC
415-0034123

TAX MAP 25-08 PARCEL 9.00
DAVID ALLEN SMITH
DB 11448 PG 627
PB 5210 PG 93

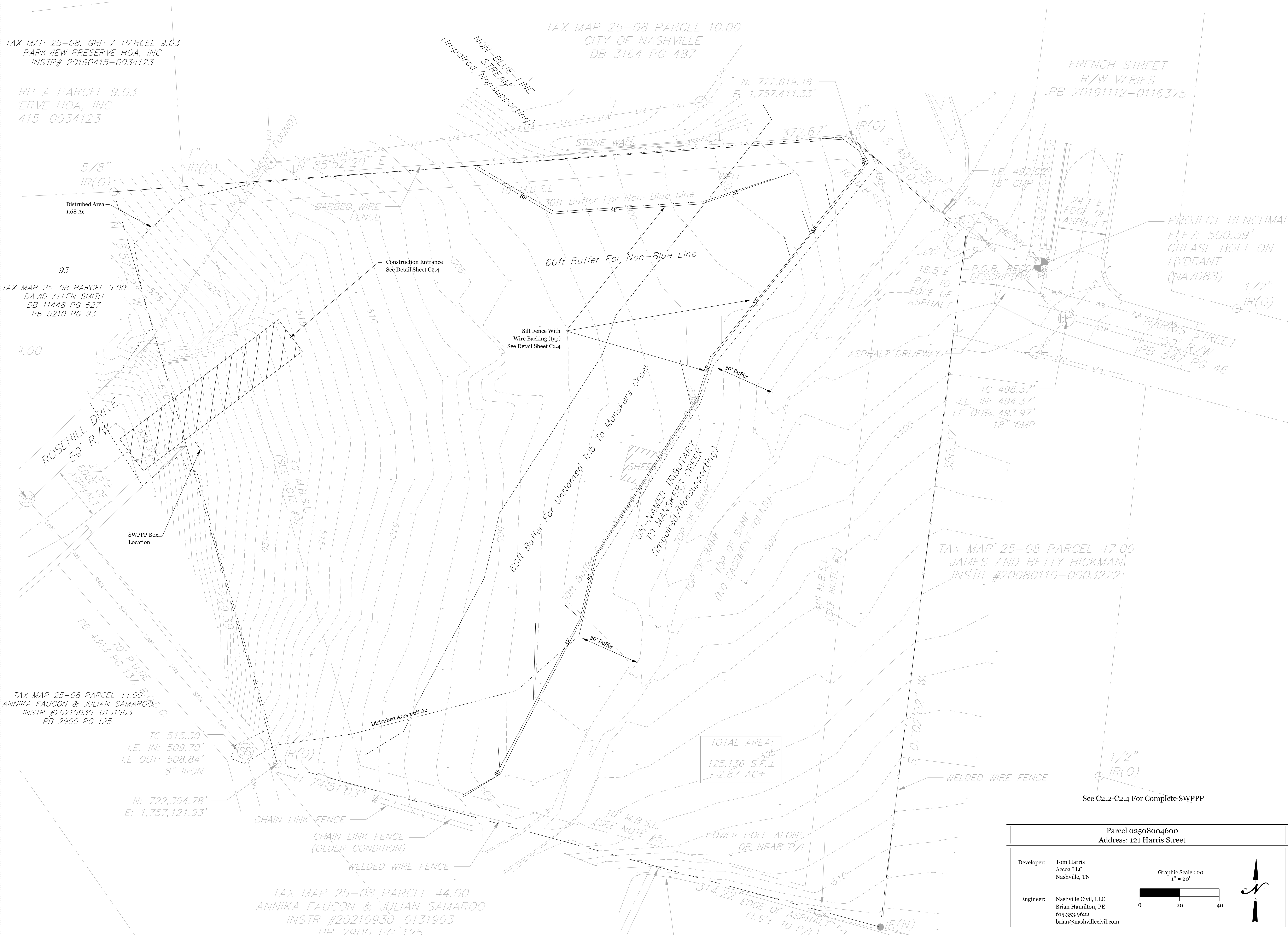
9.00

TAX MAP 25-08 PARCEL 44.00
ANNIKA FAUCON & JULIAN SAMAROO
INSTR #20210930-0131903
PB 2900 PG 125

TAX MAP 25-08 PARCEL 47.00
JAMES AND BETTY HICKMAN
INSTR #20080110-0003222

TAX MAP 25-08 PARCEL 44.00
ANNIKA FAUCON & JULIAN SAMAROO
INSTR #20210930-0131903
PB 2900 PG 125

TAX MAP 25-08 PARCEL 44.00
ANNIKA FAUCON & JULIAN SAMAROO
INSTR #20210930-0131903
PB 2900 PG 125



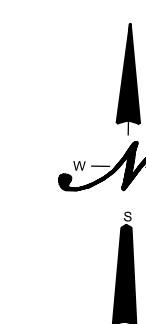
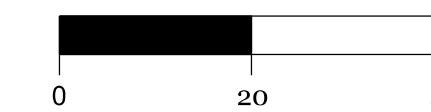
See C2.2-C2.4 For Complete SWPPP

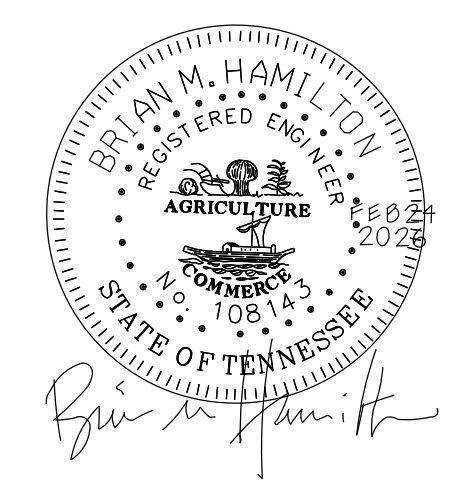
Parcel 02508004600
Address: 121 Harris Street

Developer: Tom Harris
Accoa LLC
Nashville, TN

Engineer: Nashville Civil, LLC
Brian Hamilton, PE
615-353-9622
brian@nashvillecivil.com

Graphic Scale: 20
1" = 20'





sheet title:
INTERMEDIATE - BUFFER RESTORATION PLAN

for:
ROSEHILL PARK

located:
121 HARRIS STREET

GOODLETTSVILLE DAVIDSON COUNTY TENNESSEE

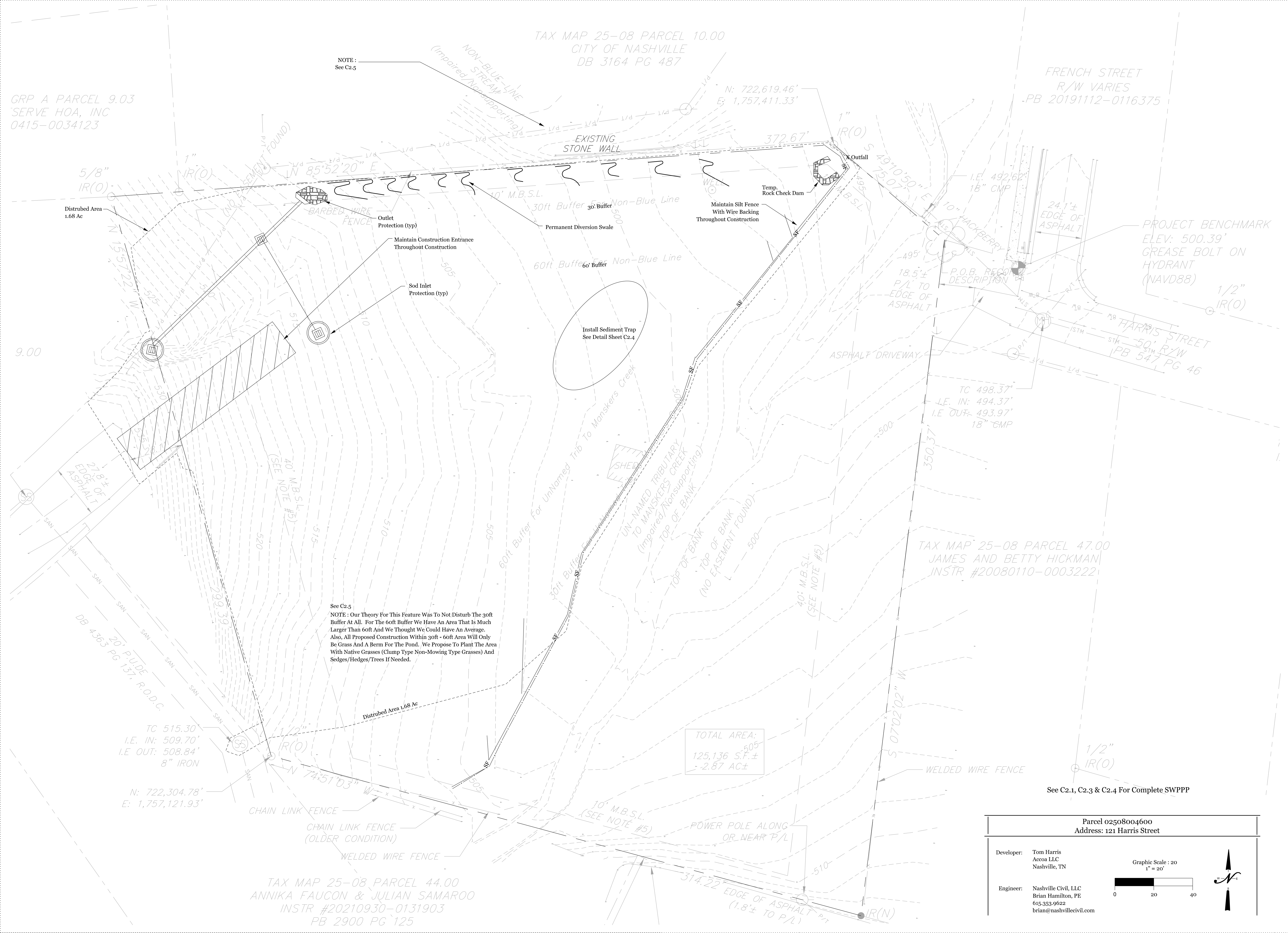
Project #:
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- Phase:
 Construction Drawings

Intermediate Erosion Control Plan

C2.2



GRP A PARCEL 9.03
 SERVE HOA, INC
 0415-0034123

TAX MAP 25-08 PARCEL 10.00
 CITY OF NASHVILLE
 DB 3164 PG 487

FRENCH STREET
 R/W VARIES
 -PB 20191112-0116375

TAX MAP 25-08 PARCEL 47.00
 JAMES AND BETTY HICKMAN
 INSTR #20080110-0003222

TAX MAP 25-08 PARCEL 44.00
 ANNIKA FAUCON & JULIAN SAMAROO
 INSTR #20210930-0131903
 PB 2900 PG 125

See C2.5
 NOTE: Our Theory For This Feature Was To Not Disturb The 30ft Buffer At All. For The 60ft Buffer We Have An Area That Is Much Larger Than 60ft And We Thought We Could Have An Average. Also, All Proposed Construction Within 30ft - 60ft Area Will Only Be Grass And A Berm For The Pond. We Propose To Plant The Area With Native Grasses (Clump Type Non-Mowing Type Grasses) And Sedges/Hedges/Trees If Needed.

TOTAL AREA:
 125,136 S.F. ±
 -2.87 AC ±

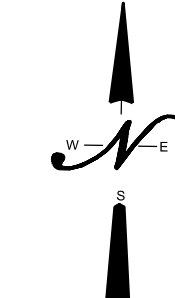
See C2.1, C2.3 & C2.4 For Complete SWPPP

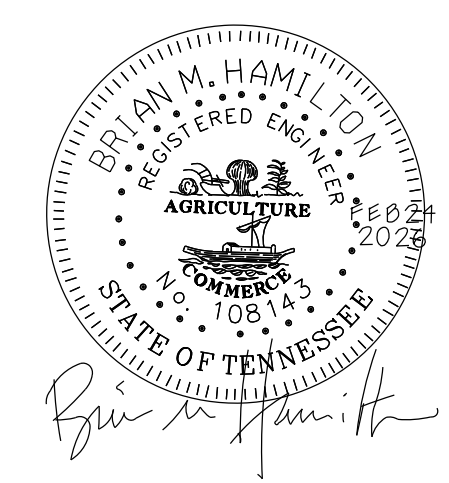
Parcel 02508004600
 Address: 121 Harris Street

Developer: Tom Harris
 Accoa LLC
 Nashville, TN

Engineer: Nashville Civil, LLC
 Brian Hamilton, PE
 615.353.9622
 brian@nashvillecivil.com

Graphic Scale: 20
 1" = 20'



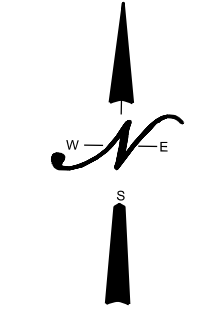


Parcel 02508004600
 Address: 121 Harris Street

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STORMWATER POLLUTION PREVENTION PLAN NOTES

- The contractor is responsible for making sure that a copy of the SWPPP is retained on-site at or near the construction entrance. If a construction trailer is not available, the contractor shall provide a waterproof enclosure near the construction entrance to place the SWPPP. In addition to the SWPPP, the contractor shall make certain that the following information must also be posted at the construction site (in a construction trailer or in the waterproof enclosure): a.) A copy of the notice of coverage (NOC) with the NPDES permit tracking number for the construction project number, b.) name, company name, email address, telephone number and address of the project site owner or a local contact person; c.) a brief description of the project; d.) the location of the SWPPP if an on-site location for storing the plan is not available.
- The owner of this project site will provide erosion control measures as shown on this SWPPP. If the owner sells this property, the new property owner will be required to obtain coverage under this permit from the governing federal, state and local agencies and the new property owner shall assume operational control and responsibility for the portion of the site that he/she purchases.
- Prior to the commencement of any clearing or grubbing, the contractor shall erect "construction fencing", tree protection fencing, caution tape, etc. along the limits of disturbance to protect trees, stream bank buffers, etc. that are not to be disturbed.
- Prior to any type of construction activity, the contractor shall install the stone based construction exit, the silt fence and the sediment traps/basins when indicated on the SWPPP. Additional erosion control measures such as rock check dams, diversion swales, temporary creek crossings, temporary mulching of disturbed areas, final seed and straw application and general erosion control maintenance shall be provided as construction progresses and these measures become necessary. The contractor shall be responsible for implementing all of the erosion control measures.
- All erosion control measures shall be installed and maintained in accordance with the manufacturer's specifications and recommendations. It is the purpose of all control measures to slow runoff so that soil erosion and gully formation is prevented. The contractor shall inspect the control measures periodically and replace and/or modify the controls for relevant site situations.
- Where the application of temporary or permanent grass seed is specified as part of the SWPPP, the contractor shall use an appropriate grass seed mixture for the time of year that the seed is sowed. Use fescue during the spring and summer months and a mixture of fescue and winter rye during the fall and winter months. Sow at a rate of 6 lbs. per 1000 s.f. of area. Provide adequate amounts of water to establish a healthy stand of grass.
- If sediment escapes the construction site, it is the contractor's responsibility to remove the sediment that has escaped the site. The contractor shall obtain the permission of the landowner where the sediment has accumulated before removal can begin. If sediment enters a stream, the contractor must also gain the written permission of the State before remediation/restoration can begin.

- The contractor shall remove sediment from sediment traps, silt fences, sedimentation ponds, and other sediment controls as necessary and must be removed when capacity has been reduced by 50%.
- Litter, construction debris and construction chemicals exposed to storm water shall be picked up and removed from the site to prevent them from becoming a pollutant source for storm water discharges. After use, materials used for erosion prevention and sediment control should be removed from the site.
- There are no other construction activities or industrial activities associated with this project site that are covered under a separate permit.
- There are no streams or wetlands on or near this project site; therefore no additional permits associated with these features are required.
- All earth stockpiles, whether on the project site or off-site shall include erosion control measures to prevent the material from being washed from the site by storm water runoff.
- Clearing and grubbing must be held to the minimum necessary for grading and equipment operation.
- This project does not disturb more than 50 acres, but areas of the completed phase must be stabilized within 14 days.
- For projects that have a disturbed area of greater than 50 acres, the contractor shall provide a phasing plan to only disturb 50 acres or less at one time. Submit the phasing plan to the state and local agencies for their review.
- Erosion prevention and sediment control measures must be in place and functional before earth moving operations begin and must be constructed and maintained throughout the construction period. Temporary measures may be removed at the beginning of the workday, but must be replaced at the end of the workday.
- The contractor shall maintain a rain gauge and daily rainfall records at the site.
- The contractor shall initiate stabilization measures in portions of the site where construction activities have temporarily or permanently ceased. Temporary or permanent soil stabilization at the construction site must be completed no later than 14 days after the construction activity on that portion of the site has temporarily or permanently ceased.
- The contractor shall construct temporary diversion swales to divert off-site runoff from crossing the disturbed areas. These diversion swales, when necessary, shall be field located to avoid existing trees wherever possible.
- No work shall be allowed in or around streams or wetlands without the proper permits. Prior to the commencement of any construction activities in these areas, the contractor shall obtain a copy of the permits from the property owner, which allows this work. He shall not begin work without obtaining a copy of these permits or stiff fines from the federal and state agencies may be levied.

- Muddy water to be pumped from excavation and work areas must be held in settling basins or filtered prior to its discharge into surface waters. Water must be discharged through a pipe, well-grassed or lined channel or other equivalent means so the discharge does not cause erosion and sedimentation. Discharged water must not cause an objectionable color contrast with the receiving stream.
- After construction is complete, all disturbed areas, which are not covered with impermeable surface (i.e. asphalt, concrete, buildings, etc.), shall be covered with topsoil (4-inch thick minimum), grass seed and straw. The contractor shall maintain the seed and straw until a solid, healthy stand of permanent grass covers the disturbed areas.
- Silt fence shall be used along the lower edge of disturbed areas that have sheet flow runoff. Where runoff is concentrated (such as swales and ditches), bumpup fences or rock check dams shall be used to slow the velocity and allow settling of sediment.
- All construction and waste material shall be collected and removed from the site on a periodic basis. All construction and waste material shall be located outside of any existing or proposed drainage ways and shall be covered and protected from the rain until they are removed from the site. Any liquid materials or chemicals stored on-site shall be located away from any existing or proposed drainage ways and a berm of sufficient height to contain the entire volume of the liquid shall be constructed to completely encompass and impound the stored materials to prevent a spill from flowing off of the site.
- All soil, plants, trees and other vegetation in protected streams and wetlands and along the banks of same are protected by State law and therefore a prohibition from being removed. The contractor shall ensure that these areas remain undisturbed during construction. He shall erect construction barriers or take other means necessary to insure that the areas remain protected.
- The contractor shall employ a person to inspect the erosion control measures as required by the State and local agencies. The inspector must have successfully completed the "Fundamentals of Erosion Prevention and Sediment Control" course provided by the State. A copy of the certification or training record for inspector certification should be kept on site.
- Inspections described in the Tennessee General Permit shall be performed at least twice every calendar week and shall be performed at least 72 hours apart. Inspect all erosion control measures, disturbed areas, storage of material areas, outfall points, construction access points, etc.
- Inspections shall also be performed before anticipated storm events (or series of storm events such as intermittent showers over one or more days), and within 24 hours after the end of a storm event of 0.5 inches or greater.
- Any inadequate control measures or control measures in disrepair shall be replaced or modified or repaired as necessary before the next rain event if possible, but in no case more than 7 days after the need is identified. The contractor shall provide additional erosion control measures where necessary to insure adequate control so that no silt exits the project site.

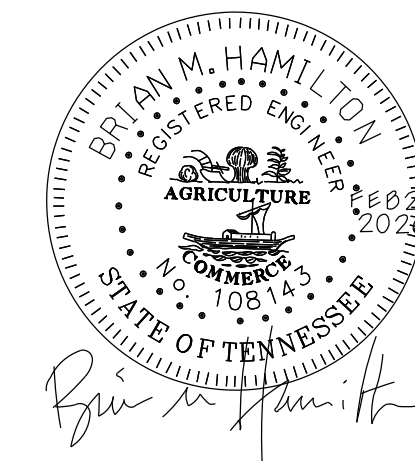
- Inspections shall be documented and include: the scope of the inspection, name and title of personnel making the inspection, the date of the inspection, major observations relating to the implementation of the storm water pollution prevention plan (including the location of discharges of sediment or other pollutants from the site and of any control device that failed to operate as designed or proved inadequate for a particular location), and actions taken in accordance with the General Permit. Inspections documentation will be maintained on site and made available upon request. Inspection reports must be submitted to the State (TDEC) within 10 days of the request. Use the inspection report form provided in Appendix C of the General Permit and complete on a weekly basis.
- Sediment removed from sediment control structures is to be placed at a site that has been permitted by local and state agencies. The contractor is responsible for obtaining the site to "waste" the sediment material. The sediment shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the storm water run-off. Cost of this treatment is to be included in the price for the earthwork.
- The contractor shall seed and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. The contractor shall take whatever means necessary to establish permanent soil stabilization. Any areas that do not include construction activity for more than 14 days shall be temporarily covered with straw to help prevent erosion.
- Remove sediment from all drainage structures, pipes and swales before acceptance by the developer or the local governing agency.
- Remove the temporary erosion and water pollution control devices only when in the opinion of the owner's representative, they are no longer needed.
- During the period between the end of the construction and the establishment of the permanent vegetation, erosion control measures shall remain in place and maintained. Once permanent vegetation is established, then the erosion control measures may be removed.
- This SWPPP is developed in accordance with the Tennessee General NPDES Permit (TNR100000) for storm water discharges associated with construction activity (TNCGP), and is prepared using sound engineering practices. Nashville Civil, LLC personnel involved with the development of this plan have completed the design of vegetative and structural measures for erosion and sediment control course available from the State of Tennessee.

As instructed by Part III.F of the TNCGP, this plan and all attachments are hereby submitted to the local Environmental Assistance Center (EAC), along with the complete, correctly signed Notice of Intent (NOI). Construction will not be initiated prior to 30 days from the date of submittal of this document, or prior to receipt of a Notice of Coverage (NOC) from the Tennessee Department of Environment and Conservation (TDEC). This SWPPP is an evolving document that can change with field adjustments. And changes in the field need to be noted and TDEC provided a copy of the changes.

Plan Prepared By:

NC
Nashville Civil LLC
Site Design • Engineering
700 51st Avenue North
Nashville, TN 37209
P 615.353.9622
b@nashvillecivil.com

client:
Accoa LLC
Tom Harris
415 Church Street
Nashville, TN 37219



sheet title:
SWPPP NOTES & DETAILS

for:
ROSEHILL PARK

located:

121 HARRIS STREET

GOODLETTSVILLE
DAVIDSON COUNTY
TENNESSEE

Project #:
NC 24-481

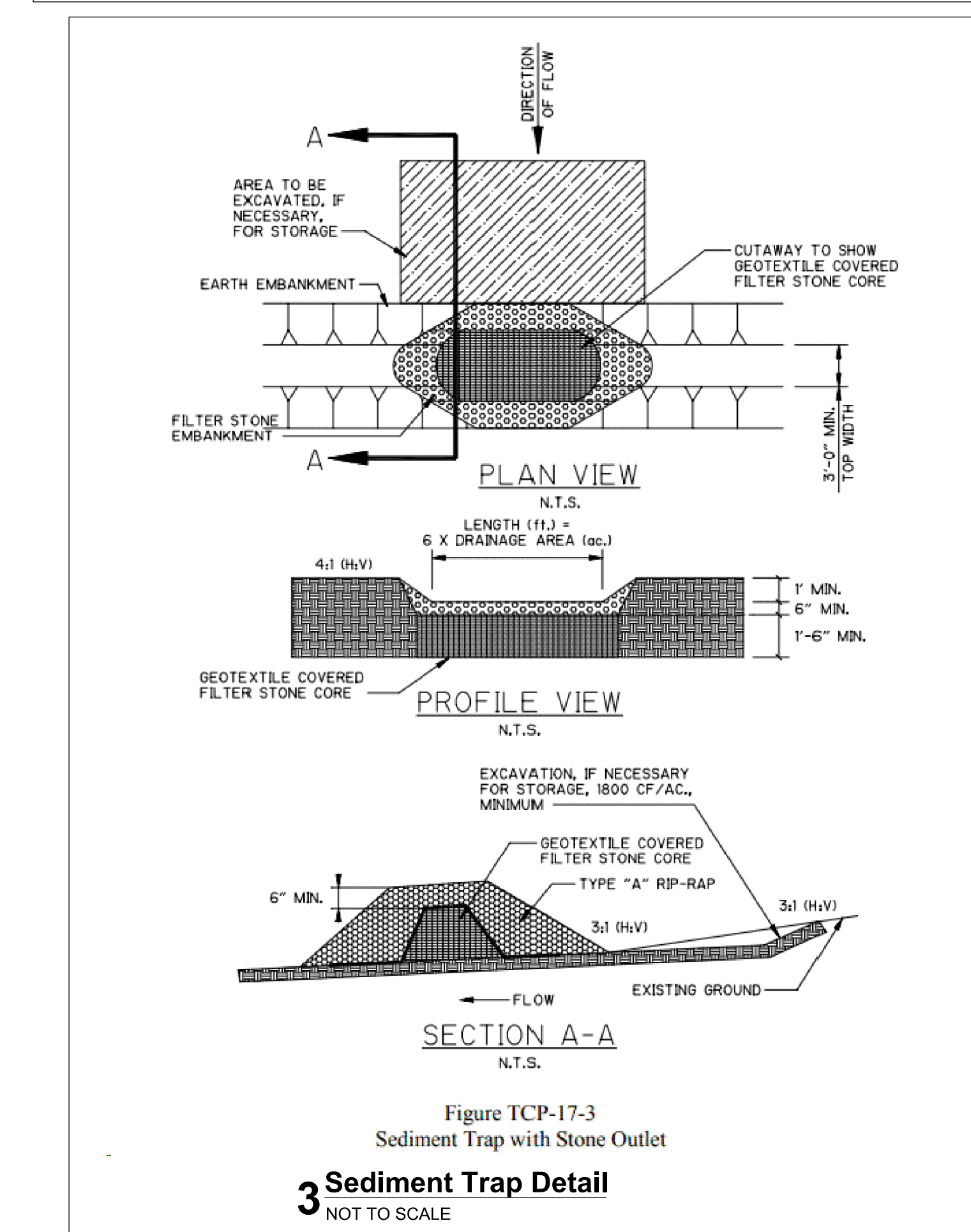
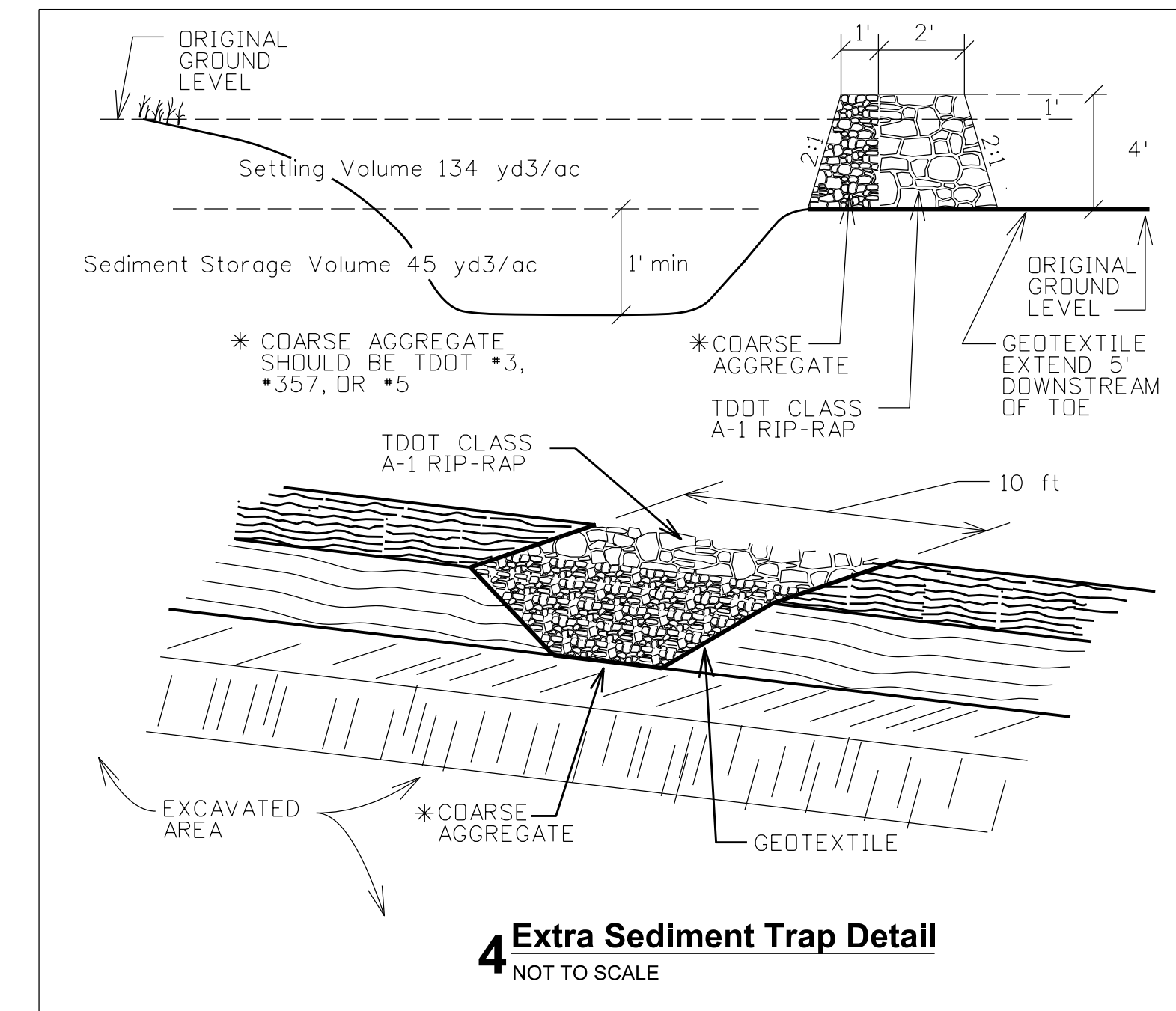
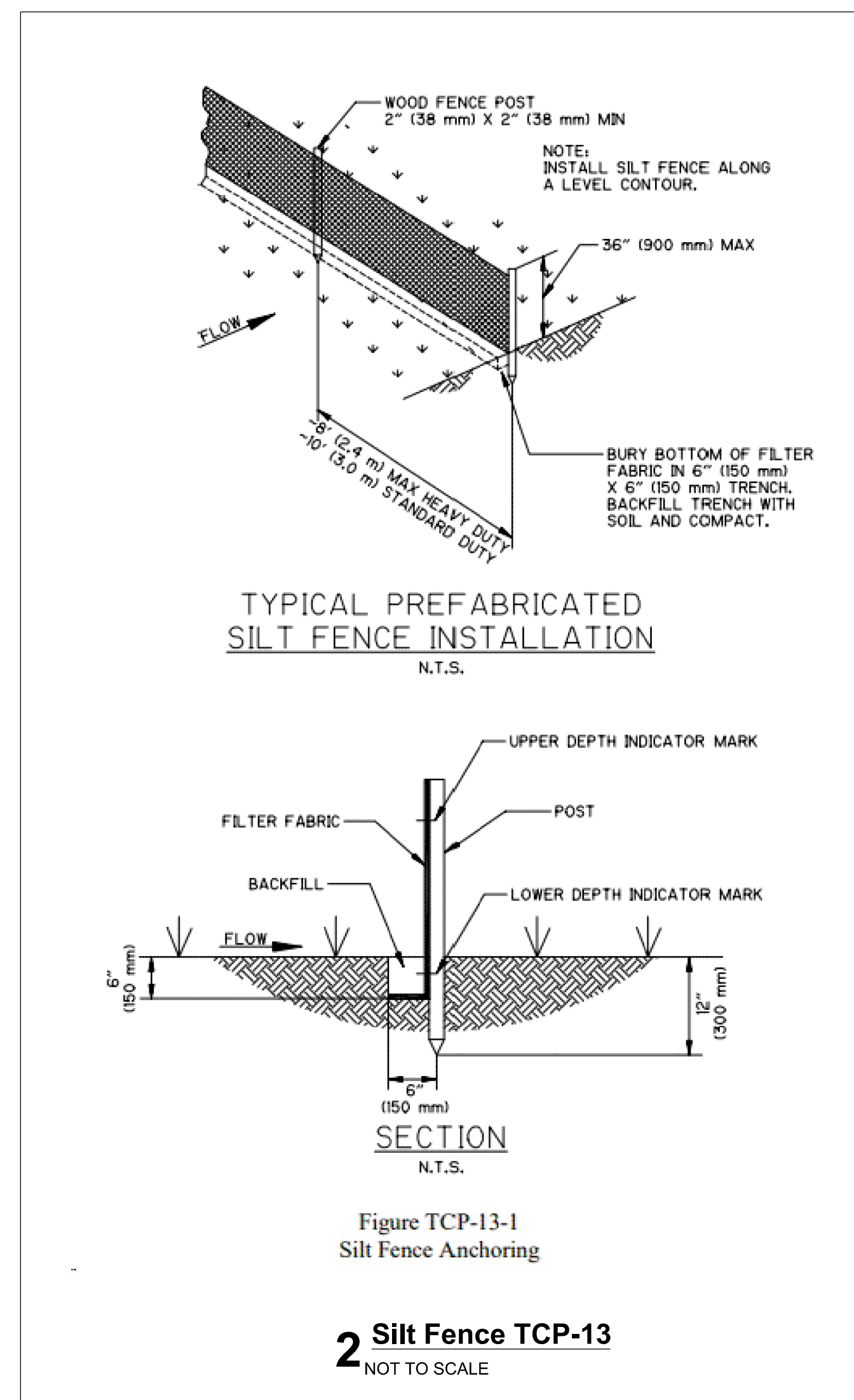
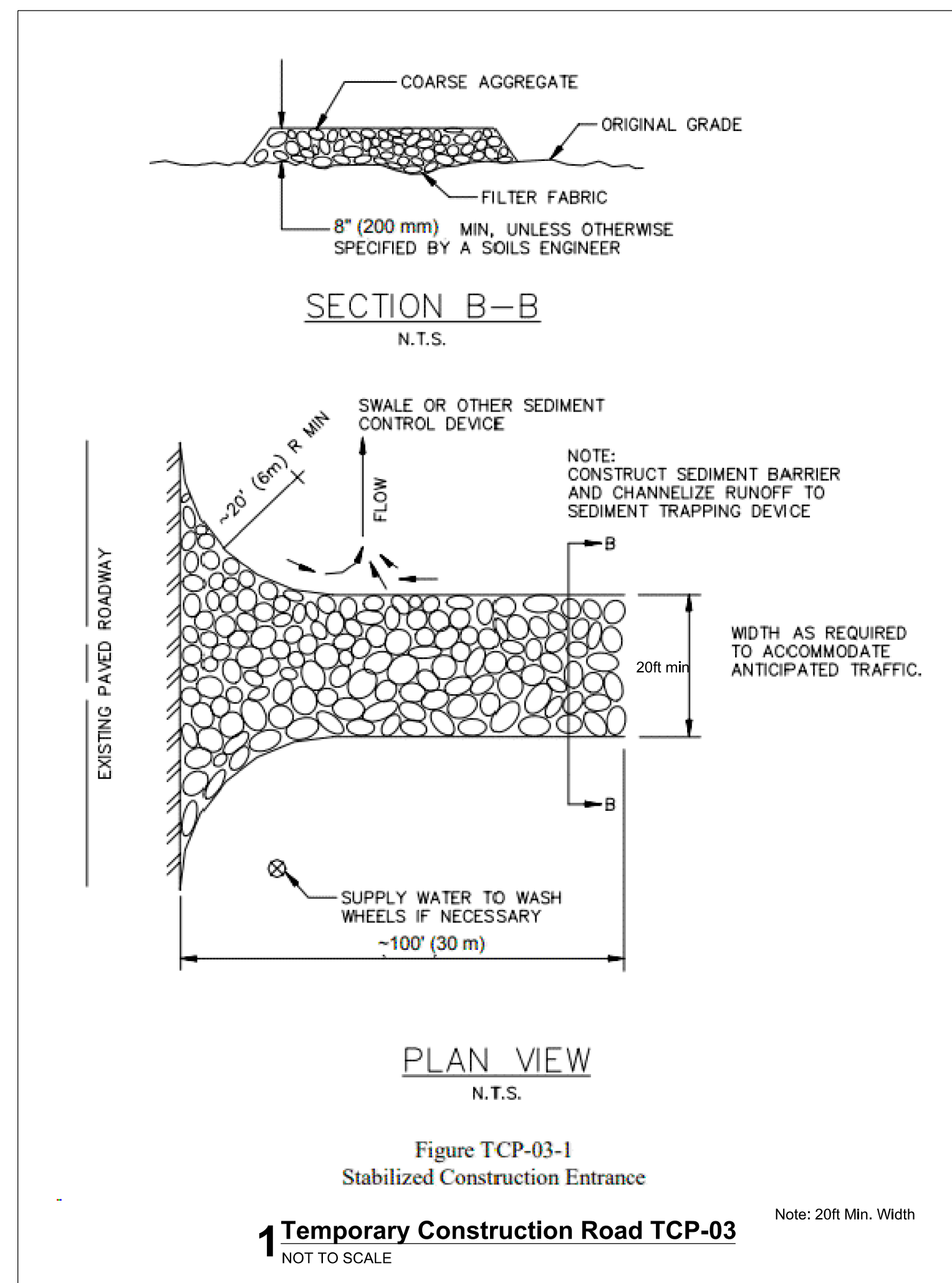
Original Issue Date:
28 May 2024

Revisions:

- 30Aug24 - Construction Plans
 - 27Sep24 - Re-Submittal
 - 29Dec25 - New Submittal
 - 31Dec25 - TDEC Submittal
 - 22Jan26 - Resub. City
 - 19Feb26 - Resub. City
 - 24Feb26 - Add. Plans
- Phase:
Construction Drawings

SWPPP Notes & Details

C2.4





sheet title:
BUFFER / EQUIVALENT MEASURES PLAN

for:
ROSEHILL PARK

located:
121 HARRIS STREET

**GOODLETTSVILLE
DAVIDSON
COUNTY
TENNESSEE**

Project #:
NC 24-481

Original Issue Date:
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6 22Jan26 - Resub. City
7 19Feb26 - Resub. City
8 24Feb26 - Add. Plans
Phase:
Construction Drawings

Buffer / Equivalent Measures Plan

C2.5

TAX MAP 25-08 PARCEL 10.00
CITY OF NASHVILLE
DB 3164 PG 487

FRENCH STREET
R/W VARIES
-PB 20191112-0116375

TAX MAP 25-08 PARCEL 47.00
JAMES AND BETTY HICKMAN
INSTR #20080110-0003221

TAX MAP 25-08 PARCEL 44.00
ANNIKA FAUCON & JULIAN SAMAROO
INSTR #20210930-0131903
PB 2900 PG 125

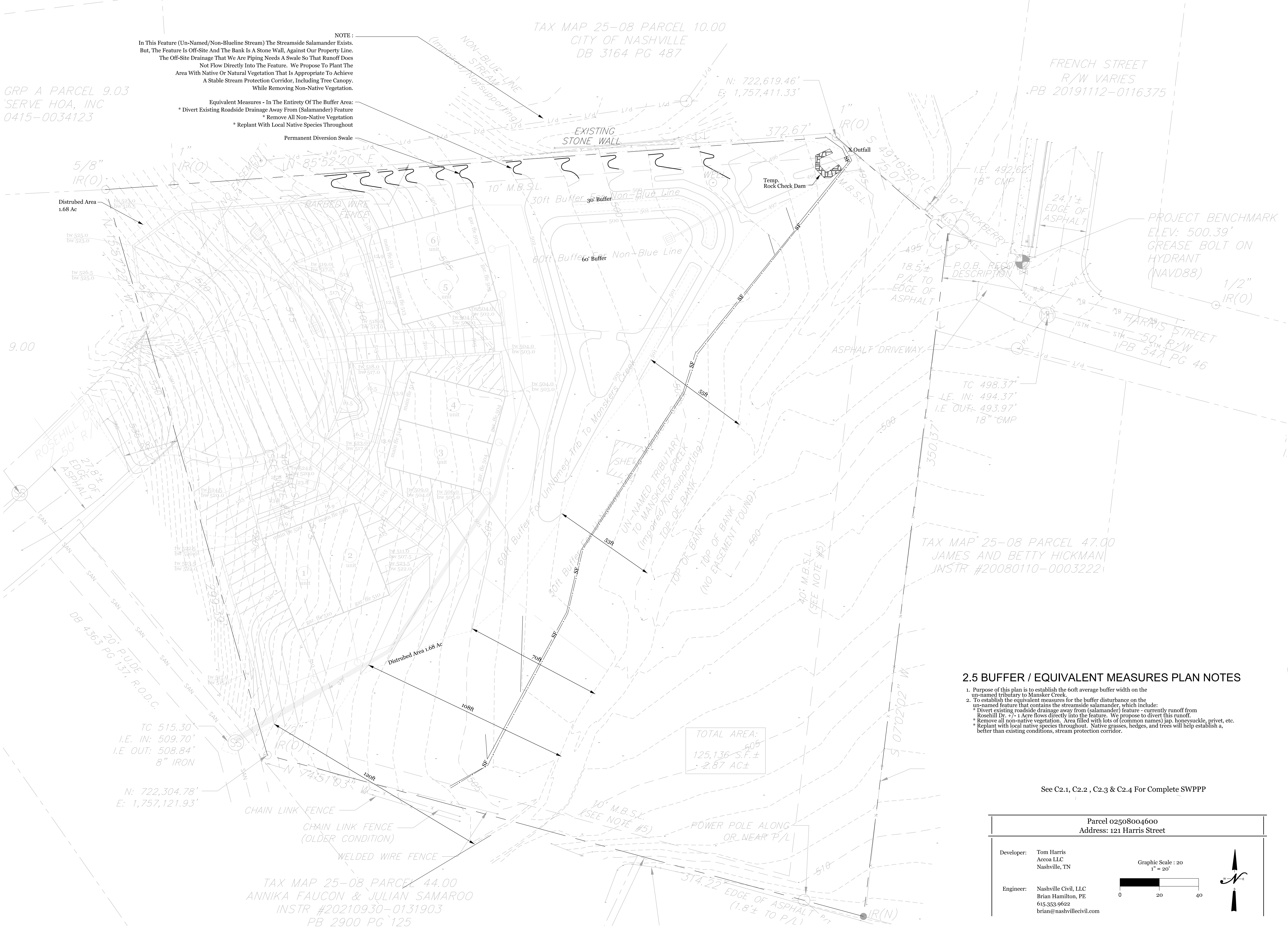
NOTE:
In This Feature (Un-Named/Non-Blue Line Stream) The Streamside Salamander Exists.
But, The Feature Is Off-Site And The Bank Is A Stone Wall, Against Our Property Line.
The Off-Site Drainage That We Are Piping Needs A Swale So That Runoff Does
Not Flow Directly Into The Feature. We Propose To Plant The
Area With Native Or Natural Vegetation That Is Appropriate To Achieve
A Stable Stream Protection Corridor, Including Tree Canopy.
While Removing Non-Native Vegetation.

Equivalent Measures - In The Entirety Of The Buffer Area:
* Divert Existing Roadside Drainage Away From (Salamander) Feature
* Remove All Non-Native Vegetation
* Replant With Local Native Species Throughout

Permanent Diversion Swale

GRP A PARCEL 9.03
SERVE HOA, INC
0415-0034123

9.00



2.5 BUFFER / EQUIVALENT MEASURES PLAN NOTES

- 1. Purpose of this plan is to establish the 60ft average buffer width on the un-named tributary to Mansker Creek.
- 2. To establish the equivalent measures for the buffer disturbance on the un-named feature that contains the streamside salamander, which include:
 - * Divert existing roadside drainage away from (salamander) feature - currently runoff from Rosehill Dr +/- 1 Acre flows directly into the feature. We propose to divert this runoff.
 - * Remove all non-native vegetation. Area filled with lots of (common names) jap, honeysuckle, privet, etc.
 - * Replant with local native species throughout. Native grasses, hedges, and trees will help establish a better than existing conditions, stream protection corridor.

TOTAL AREA:
125,136 S.F. ±
- 2.87 AC ±

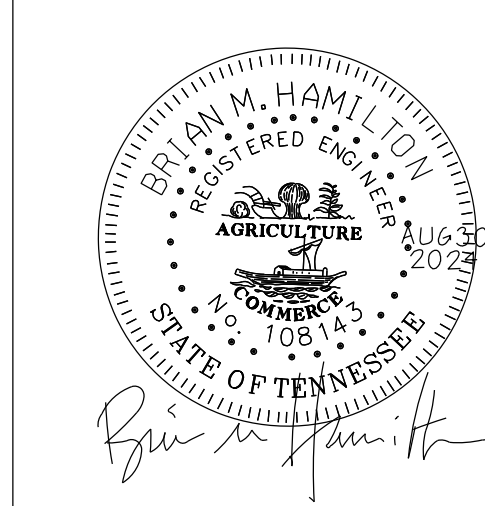
See C2.1, C2.2, C2.3 & C2.4 For Complete SWPPP

Parcel 02508004600
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Developer: Tom Harris
Accoa LLC
Nashville, TN

Engineer: Nashville Civil, LLC
Brian Hamilton, PE
615-353-9622
brian@nashvillecivil.com

Graphic Scale: 20
1" = 20'



sheet title:
ROAD PLAN AND PROFILE

for:
ROSEHILL PARK

located:
121 HARRIS STREET

**GOODLETTSVILLE
 DAVIDSON
 COUNTY
 TENNESSEE**

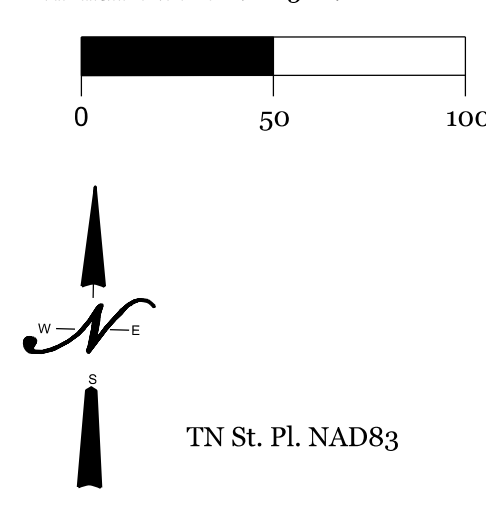
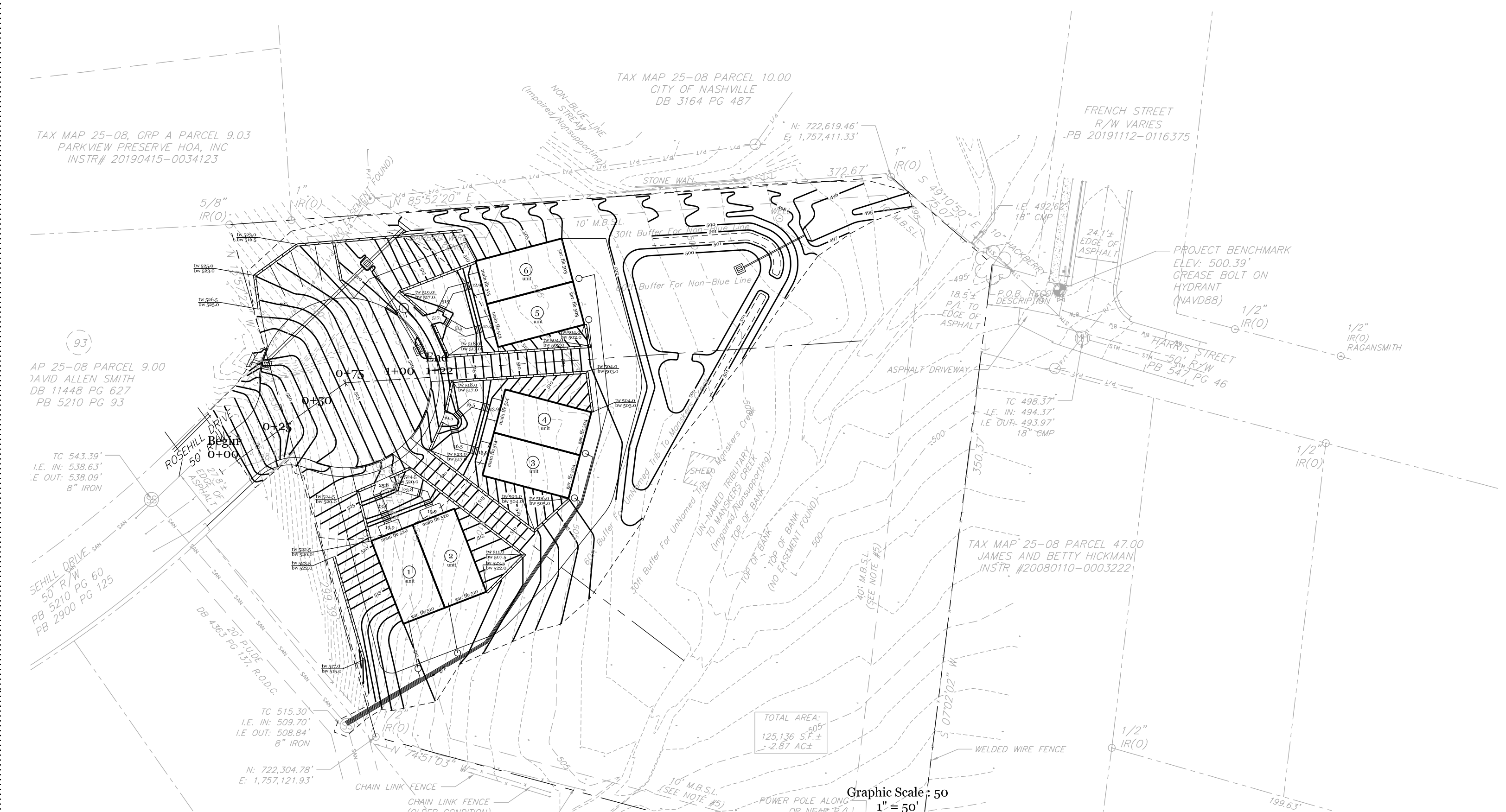
Project #:
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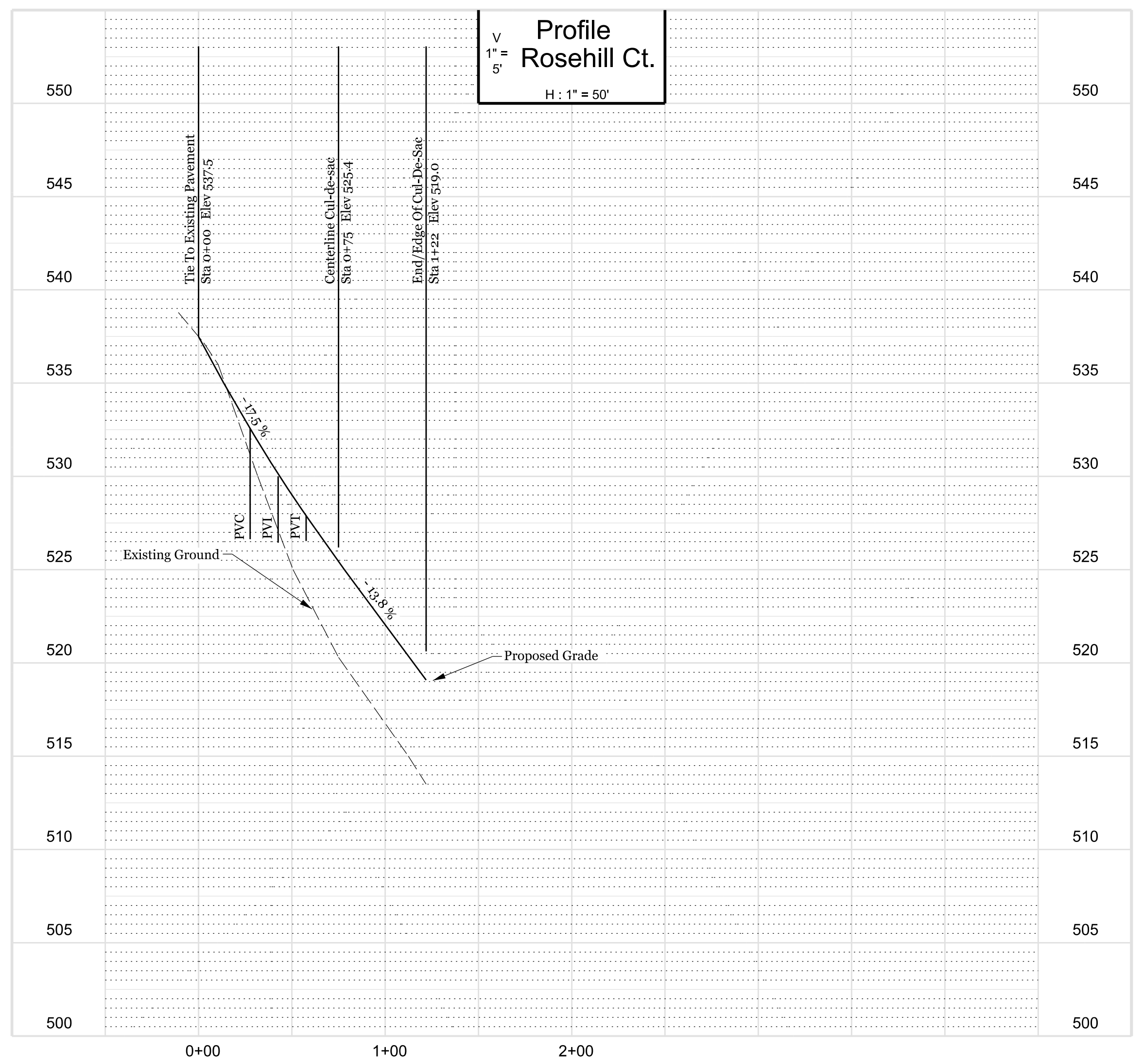
Revisions:
 1 5Aug24 - Preliminary Resubmittal
 2 30Aug24 - Construction Plans

Phase:
 Construction Drawings

Road Plan And Profile
C3.0



Plan View



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ROSEHILL PARK

121 Harris Street, Goodlettsville, Tennessee

SCHEMATIC DESIGN

FEBRUARY 19, 2026



John E. Calhoun
ARCHITECT

3122 Butternut Drive
Franklin, TN 37067

project number 2601

SHEET INDEX

ARCHITECTURAL
C0.0 COVER, GENERAL NOTES AND SHEET INDEX
C0.1 GENERAL NOTES

ARCHITECTURAL
A1.0 FLOOR PLAN - LEVEL 00 - BASEMENT LEVEL
A1.1 FLOOR PLAN - LEVEL 01 - MAIN LEVEL
A1.2 FLOOR PLAN - LEVEL 02 - UPPER LEVEL
A1.3 FLOOR PLAN - LEVEL 03 - LOFT/ROOF PLAN
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS

CIVIL (REFERENCE ONLY)

C0.0 CIVIL - COVER
C1.0 CIVIL - SITE PLAN
C2.0 CIVIL - GRADING AND DRAINAGE PLAN

GENERAL NOTES:

THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE OWNER AT ONCE.

THE CONTRACTOR SHALL NOT SCALE DRAWINGS.

DIMENSIONS ARE NOT ADJUSTABLE UNLESS NOTED WITH PLUS/MINUS TOLERANCE.

DIMENSIONS ARE INDICATED AS FOLLOWS UNLESS OTHERWISE NOTED:

WOOD STUD PARTITIONS - FROM FACE OF FINISH TO FACE OF FINISH STUD UNLESS OTHERWISE NOTED:

MASONRY - FROM FACE OF MASONRY TO FACE OF MASONRY

EXTERIOR WALL - FROM EXTERIOR FACE OF WALL TO INTERIOR FACE

INTERIOR ELEVATION - FROM FINISHED FLOOR TO FINISHED FLOOR

ALL WORK SHALL COMPLY W/STATE AND LOCAL CODES AND ORDINANCES AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THEIR RESPECTIVE TRADES.

THE CONTRACTOR SHALL REPAIR YARD AREAS DAMAGED BY THIS PROJECT.

THE OWNER SHALL SELECT ALL COLORS, ALL MATERIALS, AND ALL FINISHES, UNLESS OTHERWISE NOTED.

DRAWINGS REPRESENT THE DESIRED RESULT OF CONSTRUCTION. TEAM7 CONSULTING, LLC SHALL HAVE NO CONTROL OR SUPERVISION OF CONSTRUCTION AND SHALL NOT BE HELD RESPONSIBLE FOR QUALITY, OR METHODS OF CONSTRUCTION. ALL RISKS INVOLVED DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SUBMIT SAMPLES OF ALL FINISHES TO OWNER FOR APPROVAL BEFORE INSTALLATION OR FABRICATION.

ALL GYP. BD. CEILINGS AND SOFFITS TO BE PAINTED AN EGGSHELL FINISH. UNLESS OTHERWISE NOTED.

ALL PAINTED WALLS TO RECEIVE SATIN FINISH, UNLESS OTHERWISE NOTED. CONFIRM W/OWNER PRIOR TO FINAL SELECTION.

SUBMIT SAMPLES OF ALL OUTLETS, SWITCH PLATES, GRILLS, ETC. TO OWNER FOR APPROVAL BEFORE INSTALLATION.

ALL PAINT IS TO BE LOW VOC.

ITEMS REQUIRING FINISH SELECTION THAT DO NOT APPEAR ON THE FINISH DOCUMENTS SHALL BE SELECTED FROM SHOP DRAWINGS, SUBMITTALS AND/OR SAMPLES AS REQUIRED BY ARCHITECTURAL SPECIFICATIONS.

CHANGES OF LEVEL BETWEEN FLOORING MATERIALS SHALL BE NO GREATER THAN 1/4" U.N.O.

SAVE ALL TILE, BASE, AND USEABLE SCRAPS. STORE IN A SPACE TO BE SELECTED BY OWNER. WRAP ITEMS FOR STORAGE IN A PROTECTIVE COVERING CLEARLY MARKING THE CONTENTS.

PROVIDE THE OWNER WITH A MAINTENANCE MANUAL OF MANUFACTURER'S RECOMMENDED ROUTINE AND SPECIAL MAINTENANCE INSTRUCTIONS FOR EACH ITEM

ALL FINISH MATERIALS SHALL BE SUPPLIED FROM (1) ONE DYE LOT OR COLOR BATCH PER ITEM, INCLUDING, BUT NOT LIMITED TO TILE AND PAINT.

OWNER TO SELECT CABINET HARDWARE and DOOR HARDWARE

Rosehill Park

121 Harris Street
Goodlettsville, Tennessee

Issues and Revisions

SCHEMATIC DESIGN 02 FEBRUARY 2026
SUBMITTAL 18 FEBRUARY 2026

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Drawings, written material, and design concepts shall not be used or reproduced in whole or part in any form or format without prior written consent of John Calhoun | Architect

seal

Cover/
General Info Sheet

C0.0

General Notes

General

1. this document is provided for basic construction purposes only. the architect does not warrant any material, equipment, hardware, etc. whether implied or explicitly called out on drawings.
2. job site safety is the sole responsibility of the contractor.
3. all general notes apply to the scope of this total project, regardless of whether or not they are keyed on every sheet to a specific detail.
4. the general contractor shall ensure that all construction meets or exceeds applicable codes and standard practices, including all federal, state and local building and accessibility requirements and regulations. the contractor shall be responsible for any violation of the same and shall make all work acceptable to the public department involved without extra charge.
5. the contractor shall ensure that all work conforms to standard acceptable industry standards unless otherwise indicated.
6. the contractor shall verify dimensions and site conditions before starting work. the architect shall be notified of any discrepancy. contractor shall include items not noted in these documents yet are required to complete the scope of work in the contractor's lump sum price.
7. all permits (occupancy, electrical, plumbing, and all others) required by state and local codes are to be secured by the general contractor. all permits acquired by subcontractors shall be submitted to the general contractor for record.
8. each trade shall verify all requirements pertaining to work performed in the project and obtain any required permits. all subcontractors shall direct questions, changes or requests through the general contractor. the general contractor shall submit all requests, changes or questions to the architect.
9. the general contractor shall confirm that the layout of the space can be accomplished as designed. the architect must be notified of any problems with proposed wall locations after the chalk lines are in place and before the wall framing is fastened in order to make appropriate decisions or any necessary adjustments.
10. if unanticipated mechanical, plumbing, electrical, structural elements or any other conditions are encountered which might conflict with the intended function, contact the architect immediately for clarifications.
11. for the entire length of contract work, contractor shall provide and maintain all exits, exit lighting, fire protection devices and alarms to conform to local building code requirements
12. the contractor shall promptly remedy any damage and/or loss to property (all materials and equipment incorporated in the work described herein) caused in whole or in part by the contractor, a subcontractor, or anyone directly or indirectly employed by any of them.
13. do not scale drawings. if dimensions are in question, obtain clarification from the architect before continuing with construction.
14. in the event a contractor, supplier or others request copies of electronic media such as cadd files from the architect, a fee may be required and a release form shall be executed by the receiving firm.
15. the contractor shall verify these drawings with the field conditions and notify the architect in writing and prior to beginning work of any inconsistencies between the drawings and actual conditions.
16. the contractor shall also notify the architect in writing if any work described in the contract documents that cannot be performed due to existing field conditions, even though the existing conditions are drawn correctly on the plans.

Architectural

1. the general contractor shall coordinate construction with the owner and obtain any construction regulations prior to beginning work. the general contractor shall be responsible for abiding by the owner's regulations and shall notify the architect of any cost implications to the tenant as a result of the regulations.
2. no building materials containing asbestos or other hazardous materials shall be installed on this project. contractor shall coordinate stud size and gage necessary for height of wall, as well as for structural, mechanical, plumbing, or electrical clearances prior to beginning construction. any discrepancies with layout as dimensioned shall be coordinated immediately with architect.
3. contractor shall coordinate stud size necessary for height of wall, as well as for structural, mechanical, plumbing, or electrical clearances prior to beginning construction. any discrepancies with layout as dimensioned shall be coordinated immediately with architect.
4. the general contractor shall maintain all rating of all required rated walls at all intersections, connections, and penetrations.
5. not used
6. all dimensions are to face of finish of new or existing construction unless otherwise noted.
7. provide wood blocking (fire-retardant where required by code) inside partitions for securing wall-hung cabinets (owner furnished, contractor installed & contractor furnished, contractor installed), shelving, trim, millwork, and other elements attached to partitions as required to ensure flush, straight, well-secured conditions.
8. not used
9. apply roofing in conformance with IRC R905 and other applicable codes. Balconies, landings, exterior stairways, occupied roofs, and similar surfaces exposed to the weather shall be waterproofed and sloped a minimum of 1/4" per foot for drainage.
10. not used
11. all glazing shall be in compliance with IRC R308 and local applicable codes. glazing in hazardous locations such as glass in doors, glass within 24" each side of a door opening, areas within 60" vertically and 60" horizontal from the bottom landing of a stairway, storm doors, railings, shower doors, sliding glass doors, and the enclosures around tub/shower enclosures shall be safety glazing per IRC R308.4
12. minimum headroom for a stairway shall 6'-8" measured vertically from a sloped plane connecting the tread nosing or from the floor surface or platform.
13. any exterior walking surface 30" or more above grade or adjacent floor surface shall have a minimum 36" high guardrail per IRC R312. at stairs more than 30" above floor or grade provide a 34" minimum height guardrail. provide intermediate rails that do not allow the passage of a 4" diameter sphere.
14. materials provided shall be installed per manufacturer's written recommendation and per code requirements.
15. items requiring finish selections that do not appear in the construction documents shall be selected from submittals provided to the owner.
16. contractor is to remove all debris and construction waste from the site at frequent intervals during construction and shall adhere to all applicable requirements/laws/regulations pertaining to construction waste removal.
17. Prior to final inspections & the Owner's Representative acceptance of the work, clean all areas of the project site within the area of work. These clean up operations include but are not limited to:
 - cleaning glass areas, interior & exterior.
 - cleaning exposed unpainted metals.
 - removing trash & debris from the site & providing legal disposal.
 - cleaning all exposed surfaces including lenses of all lighting fixtures.
 - removing construction dust, paint over spray, & hand prints.
 - cleaning all toilet partitions, fixtures & accessories.
 - removing all surplus materials, tools, & other unused materials.
 - vacuuming all carpeted floors.
 - cleaning & preparing resilient flooring per manufacturer's recommendations
 - all cleaning operations shall be performed in strict accordance with the manufacturer's written recommendations using products approved by the manufacturer for the materials being cleaned.

Sitework

1. civil engineering has been provided. see attached.
2. It shall be the responsibility of the owner and contractor to adhere to all federal, state, and local requirements, and acquire all necessary approvals, as it pertains to final site stormwater management plan.
3. all downspouts shall discharge into an approved underground stormwater drainage system, unless otherwise noted.
4. all finished grades shall slope away from the building foundation walls to achieve positive drainage.
5. termite protection shall be performed by a professional, licensed in the state of Tennessee and guarantees shall be presented to the owner at the time of treatment.
6. not used

Thermal and Moisture Protection

1. provide continuous screen vent/soffit vent/ridge vent as required for proper loop ventilation.
2. caulk and provide head flashing at all windows and exterior doors.
3. insulate all plumbing supplies in attic, crawl space, basements, and near exterior walls.
4. insulate behind outlets and switches at exterior walls.
5. exterior building envelope shall be provided with continuous air/vapor barrier as required by locally adopted codes.
6. provide minimum insulation values as follows:
 - exterior walls: R-13
 - crawl space: R-19
 - sloped ceilings: R-30
7. provide continuous foundation drain, filtration fabric, and gravel around perimeter of foundation walls and drained to daylight.
8. provide 10 mil poly vapor barrier

Structural

1. contractor shall review structural and architectural details. If a discrepancy seems to exist, contractor shall review the discovered discrepancy with the architect prior to construction.
2. structural engineering has not been performed for this project.
3. it is the responsibility of the contractor to coordinate the design and installation requirements of all footings, foundation walls, and structural framing.
4. any framing exposed to moisture or in concrete shall be pressure treated.
5. it is the responsibility of the contractor to have all truss and/or joist plans be designed by a registered engineer in the state of Tennessee. Truss and/or joist plans must be provided with design calculations, details, bracing, and other information required by codes and the building department.
6. provide shop drawings for all structural steel.
7. all sheathing shall be APA rated and installed per manufacturer's instructions.
8. all wood shall be held 8" minimum above finished grade

Mechanical, Plumbing, & Electrical

1. the contractor shall coordinate the architectural, civil, structural, mechanical, electrical, and plumbing construction documents with the various contractors and subcontractors involved.
2. it is the responsibility of the contractor to coordinate the design and installation requirements of all mechanical, plumbing, and electrical equipment and systems.
3. provide chases for mechanical ductwork as required.
4. contractor to provide and coordinate electrical rough-in with owner.
5. contractor to coordinate with owner the final locations of all new outlets, switches, light fixtures, data ports, and other low voltage equipment.
6. contractor is responsible for coordinating all electrical requirements of owner furnished equipment.
7. contractor is responsible for coordinating with the owner the selections and locations of all appliances and equipment.
8. gang electrical switches whenever possible.
9. contractor shall provide allowances for owner approval and selection of all fixtures.

General conditions

general

Contractor is responsible for the means & methods of construction, including scheduling, sequencing & coordination of trades. Contractor is responsible for scheduling & arranging for elevators, hoisting facilities, parking, & handling of materials.

Contractor is responsible for compliance with codes, ordinances, & regulations applicable to the project location. Contractor shall obtain all necessary permits & approvals & shall maintain copies of these documents at the job site throughout the project. If Contractor at any time ascertains that any requirement of these documents is at variance with applicable laws, ordinances, regulations or building code requirements, he shall immediately notify Architect for clarification.

These drawings have been developed from existing drawings, provided by others, which may not reflect actual field conditions. Contractor shall verify field conditions and notify the Architect immediately of any discrepancies prior to commencing with work.

Contractor shall furnish, & pay for, all drawings necessary for use on the project by Contractor's employees & subcontractors.

Contractor is responsible for the verification of all field measurements, field construction installation criteria, coordination of all trades & owner supplied items. Contractor shall verify all dimensions & job conditions & shall report to Architect any discrepancies or omissions which would interfere with satisfactory completion of the work.

Contractor shall become acquainted with all available information concerning the job site conditions, nature of the work, general local conditions, codes & ordinances, disposal, handling & storage of materials, availability of labor, as well as all other matters which may in any way affect the work or cost thereof. Failure to do so will not relieve the responsibility of properly estimating the difficulty or cost of successfully performing the work.

Contractor shall provide all materials necessary to construct the total project, whether or not details are provided. If additional information is required, contact Architect immediately. All work shall conform to the drawings & specifications. Both the drawings & specifications contain information vital to the performance of the work & should never be considered separately. These documents are to be considered only as a total package. If discrepancies appear in the Contract Documents, the Contractor shall notify the Architect before proceeding with the work. If such a conflict occurs in or between drawings & specifications, the Contractor shall provide the more restrictive condition or material.

changes in the work

Architect/Owner's representative, without invalidating the agreement, may order changes by altering, adding to or deleting from the work. Such changes shall be made only when issued in writing by the Architect/Owner's Representative.

safety

Contractor shall exercise caution at all times for the protection of persons (including employees) & property. Observe the provisions of applicable laws, building & construction codes & O.S.H.A. In no case shall the Owner, Architect or Owner's Representative be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions & programs in connection with the work. Nor shall the Owner, Architect or Owner's Representative be responsible for the Contractor's failure to employ proper safety procedures.

workmanship & materials

All workmanship shall be of good quality & in accordance with the best custom & practice currently prevailing in the trade.

Unless otherwise specified, all materials, supplies, parts, equipment & articles incorporated in the work shall be new, free of defects & imperfections & the best grade of the respective kind for the purpose specified. Whenever practicable, the standard product of a recognized, reputable manufacturer shall be used.

When "approved equal", "equal to", or other qualifying terms are used, it shall be based upon the review & approval of Architect/Owner's Representative. With prior written approval, the Contractor may use materials & articles of quality & merit equal to those specified. Requests for substitutions shall be submitted to the Architect/Owner's Representative & must be accompanied by all technical information & data relative to quality, performance, etc., to provide a proper comparison. If requested, Contractor shall submit samples of any proposed substitution. Any substitution used without approval shall be subject to rejection & replacement at Contractor's expense.

Contractor shall, at his expense, make any changes required in details, dimensions, arrangement, equipment or any other additions or alteration to the work resulting from any approved substitution. Such changes must be approved by Owner's Representative. The entire system to which the substitution applies & all work installed in connection therewith or related thereto must function as a unit as originally intended.

shop drawings & samples

When indicated on the drawings, the Contractor shall promptly submit one printed and one digital (pdf) copy of accurate shop drawings, or (3) copies of samples depicting details of his work, & the connections & coordination with the work of other trades. Drawings shall clearly indicate all elevations, sections, dimensions, methods of construction, types of finishes, dates of preliminary submittal, revisions, name & location of the work, & the Owner & Architect's name.

After Contractor's review of submittal for completeness & compliance with the scope of work, the Architect/Owner's Representative shall review the Contractor's shop drawings with reasonable promptness, making comments for corrections.

Drawings & other data that are returned "no exceptions taken" need not be resubmitted. If returned "corrections noted", the Contractor may proceed with the work per added notations & corrections. Contractor shall, at his expense, issue copies of the noted & corrected drawings to others involved in the work. Drawings & data that are stamped "revise and resubmit" or "rejected" shall be revised as indicated & resubmitted.

The procedure shall be repeated until the drawings & data are approved by the Architect/Owner's Representative. No work may proceed until the Contractor has received shop drawings approved by the Architect/Owner's Representative. Contractor shall also maintain at the job site one (1) set of approved shop drawings.

Architect/Owner's Representative's approval of such drawings shall not relieve the Contractor from responsibility for deviations from drawings & specifications, or for errors of any sort in shop drawings.

Contractor will furnish & submit color chips for color indications on all painted or textured surfaces & samples of natural or stained wood finishes required. The work shall be done in accordance with approved samples.

No substitutions or changes will be allowed without the Architect/Owner's Representative's written approval.

All costs pertaining to the preparation & submittal of samples & shop drawings shall be the responsibility of the Contractor.

coordination of the work

Contractor shall coordinate his work, subcontractor's work, & work of the various trades included to execute the work so as to avoid conflicts between any parties. Any changes in the work resulting from failure to coordinate the work shall be the sole responsibility of the Contractor, including any loss of material, time, expense, or other damage.

building maintenance & protection

Contractor shall maintain the site, interior & exterior, in a safe, clean, & orderly manner at all times. Contractor shall make provisions for disposal of all construction debris in a manner consistent with all building, local, state, & federal regulations. The site shall be kept clean of demolition debris, & new construction material shall be stored in an orderly manner.

The consumption of food & drink, or smoking shall not be permitted on the premises except in areas designated by the Building Owner.

Contractor shall maintain sanitary facilities on the site, & refrain from utilizing the existing facilities, unless otherwise specified.

Contractor shall protect all existing construction that is not scheduled for demolition. The Contractor is responsible for any damage to existing elements which occurs during the execution of the work. Contractor shall take whatever precautions are necessary to protect existing utility lines, ductwork, fixtures, etc. which remain as part of the final systems. Contractor shall clean, repair, relamp, etc. these items as required for proper function of the final systems.

Contractor shall maintain the building envelope in a watertight condition at all times.

Contractor shall protect all existing structures, utilities, signs & installation of any kind against damage or interruption of service. Contractor will notify the Building Representative of any impending interruption of service.

Contractor shall protect & preserve all materials, supplies & equipment, including property which may be owner-furnished, or owned, & all work previously installed.

Contractor is responsible for notifying the Architect/Owner's Representative of any damage done by others or of any existing damage found prior to startup of the work. All costs for repair or replacement of this damage are the responsibility of the Contractor.

engineering coordination

Contractor shall coordinate with related vendors & subcontractors for the integration of security equipment - cameras, card readers, etc.; AV equipment - projection screens, projectors, control panels, etc. & any other specialty equipment indicated.

Provide all necessary plumbing connections to equipment & plumbing fixtures. Contractor to review & coordinate all service needs for equipment & furniture indicated.

Contractor shall coordinate electrical or other requirements for equipment. Outlet locations shall be coordinated with casework elevations & approved shop drawings.

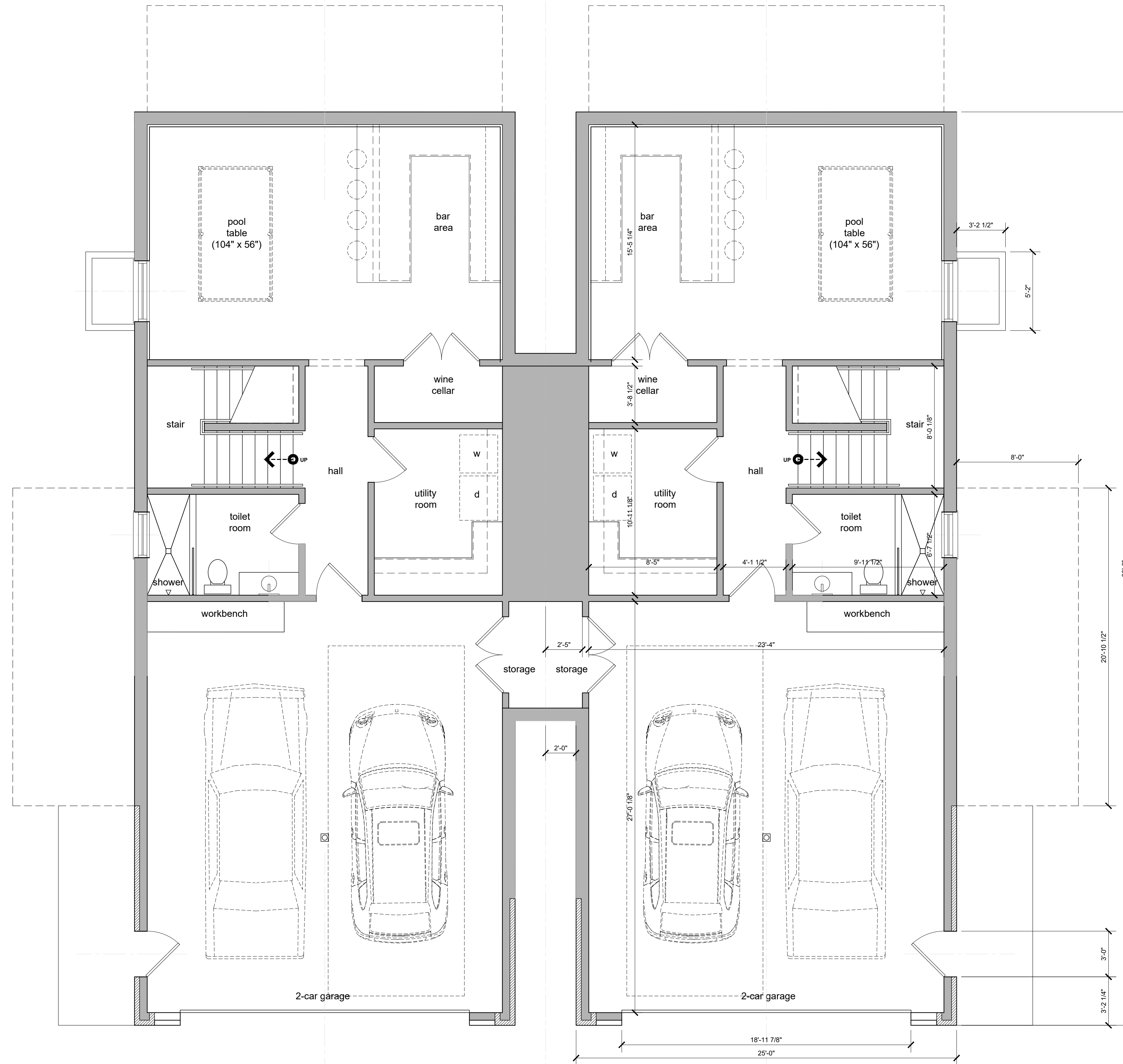
final close-out

When work is considered complete, the Contractor shall submit written certification that:

- work has been completed in compliance with the contract documents or describe in detail the work remaining & completion time frame.
- equipment & systems have been tested in the presence of the Architect/Owner's Representative & are operational.
- final cleanup has been performed.
- required test reports have been submitted, (if applicable).
- all keys have been delivered to owner.
- all operating tools, replacement items, & "at-ic stock" materials specified have been delivered to owner, (if applicable).
- all required certificates & guarantees have been delivered to owner including, but not limited to signed-off permits, final inspections, & certificate of occupancy by local authorities having jurisdiction, evidence of payment, & release of liens & certificate of insurance for products & completed operations, (if applicable).

The Architect/Owner's Representative will review the work to verify the status of completion with reasonable promptness after receipt of such certification. If the work is considered incomplete or defective, the Contractor will be notified in writing listing the areas of concern. Contractor shall take immediate steps to remedy the stated deficiencies & send a second written certification that the work is complete. When the Architect/Owner's Representative finds that the work is acceptable with respect to the contract documents, he shall request the Contractor to make close-out submittals

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1 LEVEL 00 - BASEMENT - FLOOR PLAN

SCALE - 1/4" = 1'-0"

KEY TAGS (PLAN)

- 008 NEW DOOR NUMBER, SEE DOOR SCHEDULE
- EX EXISTING DOOR NUMBER
- EW EXISTING WINDOW TAG
- NEW WINDOW TAG, SEE WINDOW SCHEDULE, SHEET A3.1
- 3/44.1 EXT. ELEVATION TAG - ELEV. NUMBER, SHEET NUMBER
- 10/A5.1 INT. ELEVATION TAG - ELEV. NUMBER, SHEET NUMBER

PT-1	CEILING	INTERIOR FINISHES, DESIGN INTENT
PT-2	WALL	
WD-1	BASE	
CONC.	FLOOR	

(X) KEYNOTE

HEIGHT MATERIAL CEILING HEIGHT

PAINTED GYP. BD., COLOR TBD

STAINED / SEALED T&G WOOD DECKING

WALL MOUNTED LIGHT FIXTURE

LINEAR SURFACE MOUNTED FL. FIXTURE

PENDANT LIGHT FIXTURE

SPEAKERS

SP-1 6" RECESSED DOWNLIGHT

SURFACE MOUNTED LIGHT FIXTURE

LINEAR UTILITY LIGHT FIXTURE

INTERIOR FINISHES

PT - 1	FIELD PAINT - TBD
CT-1	TILE FLOOR - TBD
CB-1	TILE BASE - TBD

GENERAL NOTES

1. FINISH FLOOR ELEVATIONS ARE AN ESTIMATE ONLY - COORDINATE FINAL FINISH FLOOR ELEVATIONS WITH ARCHITECT, POST SITE GRADING AND BEFORE CONSTRUCTION.
2. COORDINATE HARDWARE STYLE AND HARDWARE FINISH OF ALL DOORS WITH OWNER AND ARCHITECT.
3. COORDINATE PROFILE AND FINISH OF ALL DOORS WITH OWNER AND ARCHITECT.
4. COORDINATE DOOR HEIGHTS WITH ARCHITECT.
5. WOOD ENTRY DOORS ARE TO BE BY PELLA OR EQUAL. (REF: HENLEY)
6. COORDINATE HOSE BIBB LOCATION AND CONNECTION TO PLUMBING WITH OWNER PRIOR TO INSTALLATION.
7. COORDINATE ALL GRADE-WORK AND LANDSCAPING WITH OWNER AND ARCHITECT.
8. REFER TO GENERAL NOTES SHEET FOR GENERAL CONDITIONS AND REQUIREMENTS FOR ALL CONSTRUCTION
9. CONTRACTOR TO PERFORM THE WORK OUTLINED IN THESE NOTES IN ALL AREAS OF CONSTRUCTION UNLESS OTHERWISE IN THESE DOCUMENTS.
10. DIMENSIONS OF WALL ARE FROM FINISHED FACE UNLESS OTHERWISE NOTED
11. GENERAL CONTRACTOR TO COORDINATE ALL ELECTRICAL, LIGHTING AND LOW VOLTAGE REQUIREMENTS WITH THE OWNER.
12. COORDINATE ALL FRAMING SIZES NECESSARY FOR HEIGHT OF WALLS AND SPANS AS WELL AS ALL PLUMBING, ELECTRICAL AND MECHANICAL REQUIREMENTS/CLEARANCES PRIOR TO START OF CONSTRUCTION.
13. ANY DISCREPANCIES WITH THE LAYOUT AS DIMENSIONED SHALL BE COORDINATED IMMEDIATELY WITH THE OWNER/ARCHITECT.
14. CONTRACTOR TO WIRE ALL EXTERIOR DOORS FOR SECURITY PRIOR TO INSTALLATION OF GYPSUM BOARD. COORDINATE WITH OWNER.
15. PROVIDE NEW BACKUP GENERATOR. COORDINATE CONNECTION TO EXISTING RESIDENCE AND NEW BUILDING WITH OWNER PRIOR TO INSTALLATION. GENERATOR SIZE AND LOCATION TO BE DETERMINED.

Rosehill Park

121 Harris Street
Goodlettsville, Tennessee

Issues and Revisions

SCHEMATIC DESIGN 02 FEBRUARY 2026

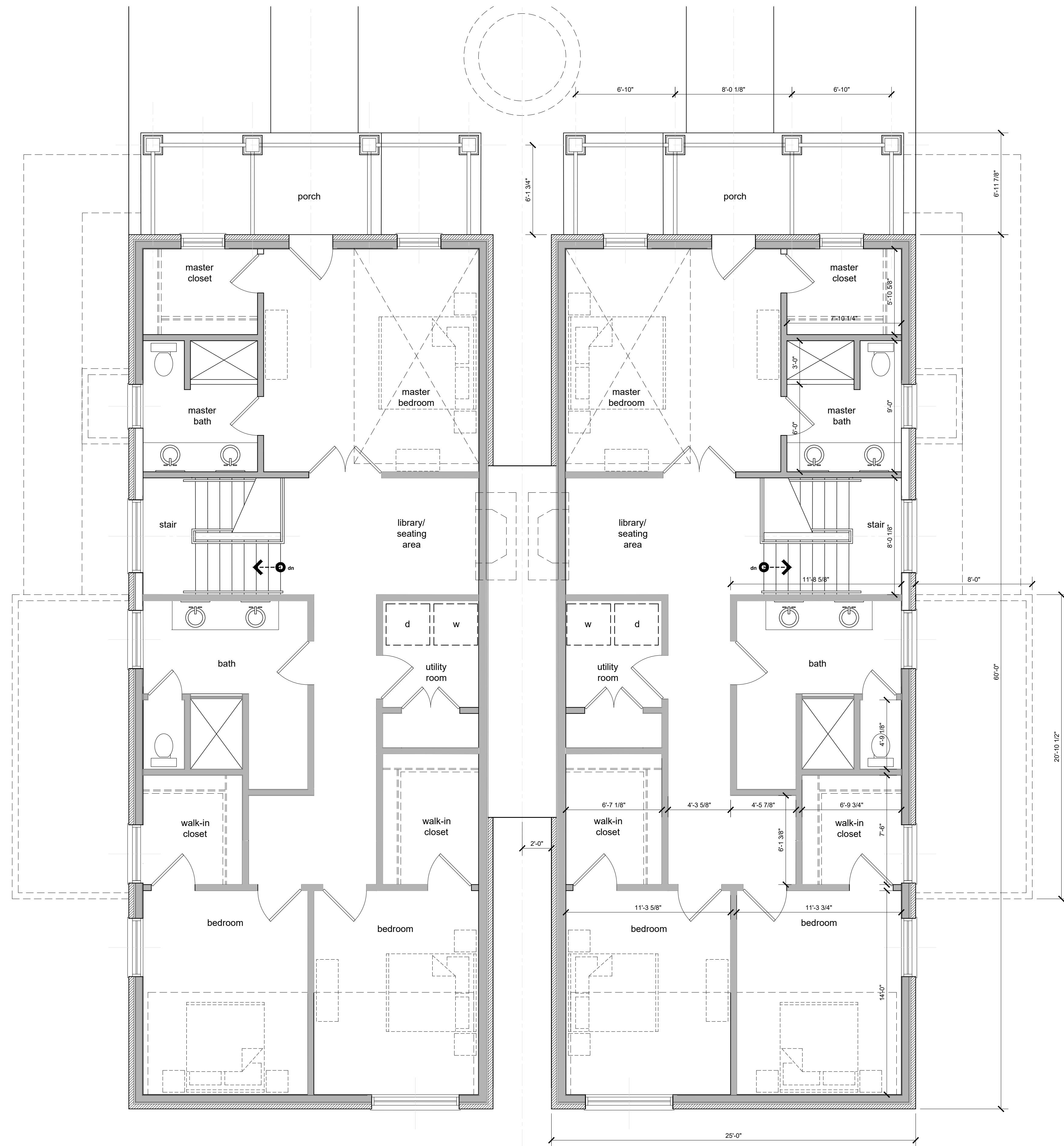
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seal

FLOOR PLAN LEVEL
00 BASEMENT

a1.0



1 LEVEL 02 - UPPER LIVING - FLOOR PLAN

SCALE - 1/4" = 1'-0"

KEY TAGS (PLAN)

- 008 NEW DOOR NUMBER, SEE DOOR SCHEDULE
- EX EXISTING DOOR NUMBER
- EW EXISTING WINDOW TAG
- NEW WINDOW TAG, SEE WINDOW SCHEDULE, SHEET A3.1
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PT-1	CEILING	INTERIOR FINISHES, DESIGN INTENT
PT-2	WALL	
WD-1	BASE	
CONC.	FLOOR	

- (X) KEYNOTE
- HEIGHT MATERIAL CEILING HEIGHT
- PAINTED GYP. BD., COLOR TBD
- STAINED / SEALED T&G WOOD DECKING
- WALL MOUNTED LIGHT FIXTURE
- LINEAR SURFACE MOUNTED FL. FIXTURE
- PENDANT LIGHT FIXTURE
- SPEAKERS
- SP-1 6" RECESSED DOWNLIGHT
- SURFACE MOUNTED LIGHT FIXTURE
- LINEAR UTILITY LIGHT FIXTURE

INTERIOR FINISHES	
PT - 1	FIELD PAINT - TBD
CT-1	TILE FLOOR - TBD
CB-1	TILE BASE - TBD

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Rosehill Park

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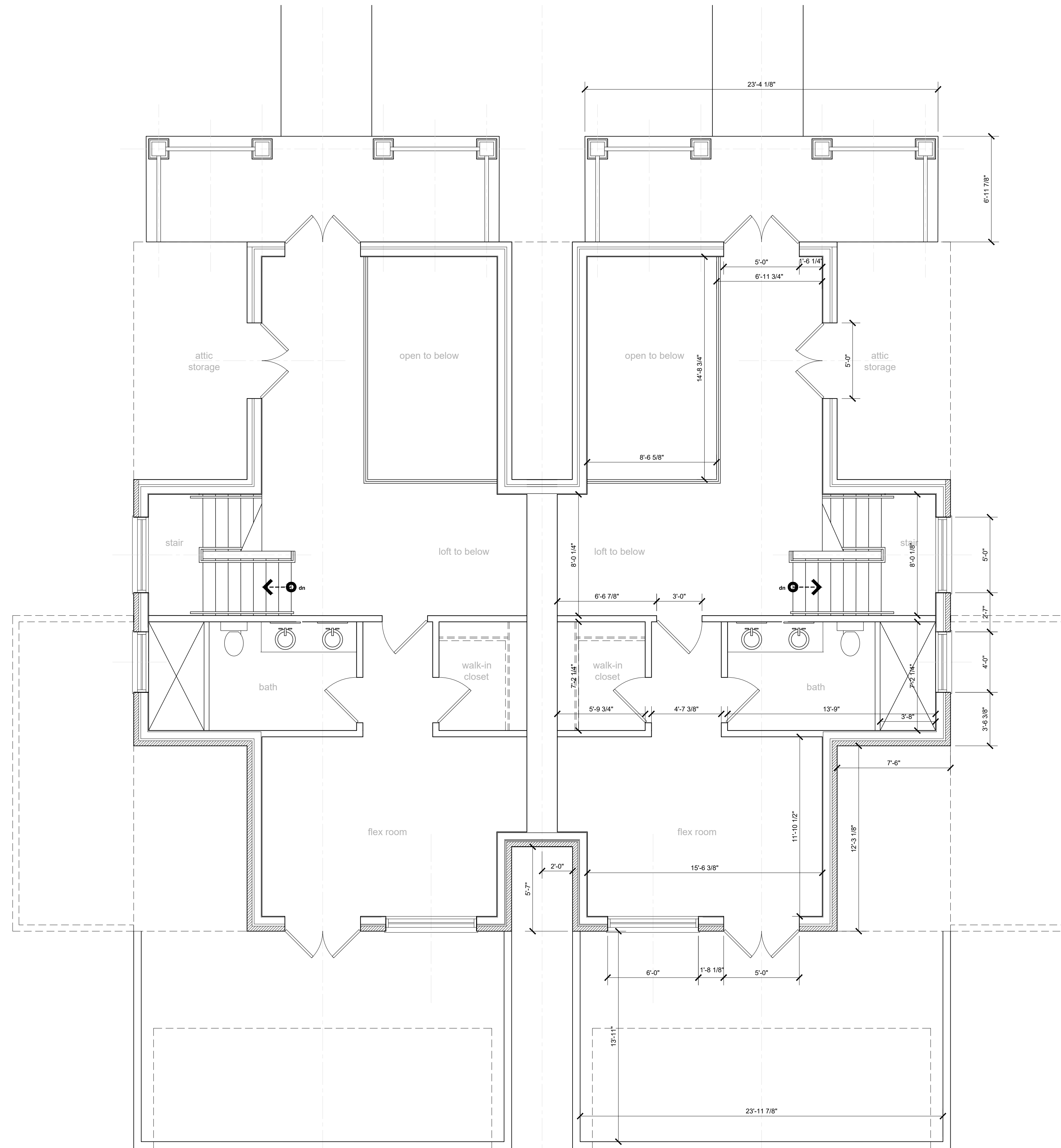
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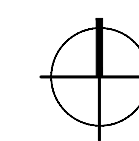
FLOOR PLAN LEVEL
02 UPPER LIVING

a1.2



1 LEVEL 03 - LOFT/ROOF - PLAN

SCALE - 1/4" = 1'-0"



KEY TAGS (PLAN)

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- EX EXISTING DOOR NUMBER
- E EXISTING WINDOW TAG
- N NEW WINDOW TAG, SEE WINDOW SCHEDULE, SHEET A3.1
- 3
A4.1 EXT. ELEVATION TAG - ELEV. NUMBER, SHEET NUMBER
- 10/A5.1 INT. ELEVATION TAG - ELEV. NUMBER, SHEET NUMBER

PT-1	CEILING	} INTERIOR FINISHES, DESIGN INTENT
PT-2	WALL	
WD-1	BASE	
CONC.	FLOOR	

X KEYNOTE

H HEIGHT MATERIAL CEILING HEIGHT

P PAINTED GYP. BD., COLOR TBD

S STAINED / SEALED T&G WOOD DECKING

L WALL MOUNTED LIGHT FIXTURE

L LINEAR SURFACE MOUNTED FL. FIXTURE

P PENDANT LIGHT FIXTURE

SP-1 SPEAKERS

D 6" RECESSED DOWNLIGHT

S SURFACE MOUNTED LIGHT FIXTURE

L LINEAR UTILITY LIGHT FIXTURE

INTERIOR FINISHES

PT - 1	FIELD PAINT - TBD
CT-1	TILE FLOOR - TBD
CB-1	TILE BASE - TBD

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Rosehill Park

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FLOOR PLAN LEVEL
03 LOFT/ROOF

a1.3



2 EXTERIOR ELEVATION - SIDE

SCALE - 1/4" = 1'-0"

EXTERIOR FINISHES

EXPOSED FOUNDATION

- SEE STRUCTURAL
- BRICK VENEER,
- COLOR: BLACK
- *ALTERNATE: STONE VENEER (PRICE AS ALTERNATE #1 IF OWNER REQUIRES)

EXTERIOR SIDING AND TRIM

- FIBER CEMENT BOARD AND BATTEN SIDING BY HARDIE OR EQUAL - PAINTED, SHERWIN WILLIAMS "IRON ORE"; PAINT SAMPLE SECTION FOR OWNER APPROVAL PRIOR TO PAINTING ALL.
- SEE ELEVATIONS FOR SIDING EXPOSURE WIDTHS AND ORIENTATION. GENERAL CONTRACTOR TO PROVIDE ALTERNATIVES FOR APPROVAL IF THEY HAVE ALTERNATIVES THAT CAN PROVIDE SIMILAR AESTHETIC
- HORIZONTAL SIDING PROFILE TO HAVE WOOD GRAIN FINISH FOR ACCENT
- PAINT COLOR: SHERWIN WILLIAMS "IRON ORE"; PAINT SAMPLE SECTION FOR OWNER APPROVAL PRIOR TO PAINTING ALL.

SOFFIT PANEL, FASCIA, AND TRIM

- FIBER CEMENT BY HARDIE OR EQUAL - PAINTED/VENTED
- SMOOTH FINISH
- PAINT COLOR: SAME

ROOFING MATERIAL (ASPHALT SIMILAR TO EXISTING)

- DIMENSIONAL ASPHALT SHINGLE
- MANUFACTURER: TBD; PROVIDE SAMPLES FOR APPROVAL
- PRODUCT LINE: SIMILAR TO EXISTING,
- COLOR: MATCH EXISTING

ROOFING MATERIAL (METAL ROOF PER EXTERIOR AND SHEDS)

- PREFINISHED METAL S-V ROOFING
- COLOR: BLACK OR GRAY - SUBMIT SAMPLES FOR APPROVAL

NOTES:

1. ALL EXTERIOR WINDOWS SHALL BE BASED ON SIERRA PACIFIC H3 ALUMINUM CLAD CASEMENT, AS BASIS OF DESIGN. USE INSULATING LOW-E GLASS UNLESS NOTED OTHERWISE. ANY SUBSTITUTION OF WINDOWS BY A MANUFACTURER OTHER THAN SIERRA PACIFIC SHALL BE APPROVED BY ARCHITECT AND OWNER.
2. ALL WINDOWS ARE TO BE STANDARD SIZED. SCHEDULED CALL NUMBERS ARE BASED ON SIERRA PACIFIC SIZING CHART.
3. ALL WINDOWS TO BE ALUMINUM CLAD SLIM FRAME DESIGN AND PROFILE.
4. ALL WINDOWS ARE TO BE CASEMENT STYLE UNLESS OTHERWISE NOTED - SEE EXT. ELEVATIONS FOR OPERATION.
5. COLOR TO MATCH EXISTING BLACK DOOR IN MASTER BEDROOM AND FRONT DOOR. BLACK, TYPICAL. SUBMIT SAMPLES FOR APPROVAL.
6. NO MULLION PATTERNS ARE PROVIDED. COORDINATE WINDOW MULLION PATTERN WITH ELEVATIONS. AND FINAL OWNER REVIEW AND APPROVAL IS REQUIRED.
7. CONTRACTOR TO SUBMIT WINDOW SHOP DRAWINGS FOR APPROVAL.
8. FIELD MEASURE ALL OPENINGS PRIOR TO ORDERING WINDOWS AND A MEETING TO DISCUSS FINAL WINDOW SELECTIONS IS REQUIRED PRIOR TO ORDERING FOR OWNER APPROVAL.
9. WINDOW AND DOOR OPENINGS ARE TO RECEIVE PAINTED FIBER CEMENT TRIM ON EXTERIOR PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
10. ANY LOW WINDOWS ARE TO HAVE TEMPERED GLASS, PER CODE REQUIREMENTS.



1 EXTERIOR ELEVATION - FRONT

SCALE - 1/4" = 1'-0"

Rosehill Park

121 Harris Street
Goodlettsville, Tennessee

Issues and Revisions

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EXTERIOR
ELEVATIONS

a3.1



2 EXTERIOR ELEVATION - SIDE



1 EXTERIOR ELEVATION - FRONT



3 EXTERIOR ELEVATION - REAR

EXTERIOR FINISHES

EXPOSED FOUNDATION

- SEE STRUCTURAL
- BRICK VENEER
- COLOR: BLACK
- *ALTERNATE: STONE VENEER (PRICE AS ALTERNATE #1 IF OWNER REQUIRES)

EXTERIOR SIDING AND TRIM

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SOFFIT PANEL, FASCIA, AND TRIM

- FIBER CEMENT BY HARDIE OR EQUAL - PAINTED/VENTED
- SMOOTH FINISH
- PAINT COLOR: SAME

ROOFING MATERIAL (ASPHALT SIMILAR TO EXISTING)

- DIMENSIONAL ASPHALT SHINGLE
- MANUFACTURER: TBD; PROVIDE SAMPLES FOR APPROVAL
- PRODUCT LINE: SIMILAR TO EXISTING;
- COLOR: MATCH EXISTING

ROOFING MATERIAL (METAL ROOF PER EXTERIOR AND SHEDS)

- PREFINISHED METAL S/V ROOFING
- COLOR: BLACK OR GRAY - SUBMIT SAMPLES FOR APPROVAL

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